

1. LIMITED SURVEY DELINEATION WAS PERFORMED TO VERIFY EXISTING CONDITIONS. ALL EXISTING CONSTRUCTION, PLANT & EQUIPMENT INFORMATION CONTAINED HEREIN WAS EXTRACTED FROM THE RECORDS OF THE FULLINGER ARCHITECTS FORT COVING BUILDING CONSTRUCTION DOCUMENTS DATED 24 JULY 1981 AND THE RONALD E. VAUGHN ARCHITECTS BUILDING HALL ARCHITECTURAL RECORDS DATED 1978. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND TO CONVEY A GENERAL UNDERSTANDING OF THE EXISTING CONDITIONS AND NOT NECESSARILY REPRESENTATIVE OF THE AS-BUILT CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS. THE CONTRACTOR SHALL FIELD CORRECTED CONDITIONS.

2. THESE DRAWINGS ARE INTENDED TO CONVEY THE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL NOT CONSIDER THE REMOVAL WORK NOTED TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY, ON SITE, ALL EXISTING CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND TO INSPECT AND ASSESS THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. BY ACCEPTING THIS CONTRACT, THE CONTRACTOR ACKNOWLEDGES THAT THEY HAVE VISITED THE SITE AND CONFIRMED COMPATIBILITY OF ALL WORK WITH THE EXISTING CONDITIONS.

3. IN THE CASE OF AN INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER CONTRACT NOT CLARIFIED BY ADDENDUM, THE BETTER QUALITY OR MORE DETAILED DRAWING SHALL BE PROVIDED TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS.

4. APPROPRIATE ACCESS TO THE SITE SHALL BE PROVIDED TO THE CONTRACTOR TO COMPLETE THE WORK. ACCESS IS TO BE REVIEWED AND APPROVED BY THE OWNER AT THE PRE-CONSTRUCTION MEETING PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FOR PROTECTORS FOR FISTRAITS IN ACCORDANCE WITH SECTION 3086 OF THE 2007 INTERNATIONAL BUILDING CODE.

5. ACCESS TO THE BUILDING SHALL BE CONTROLLED BY THE OWNER. THE STAGING OF THE WORK IS TO ALLOW THE ACCESS TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.

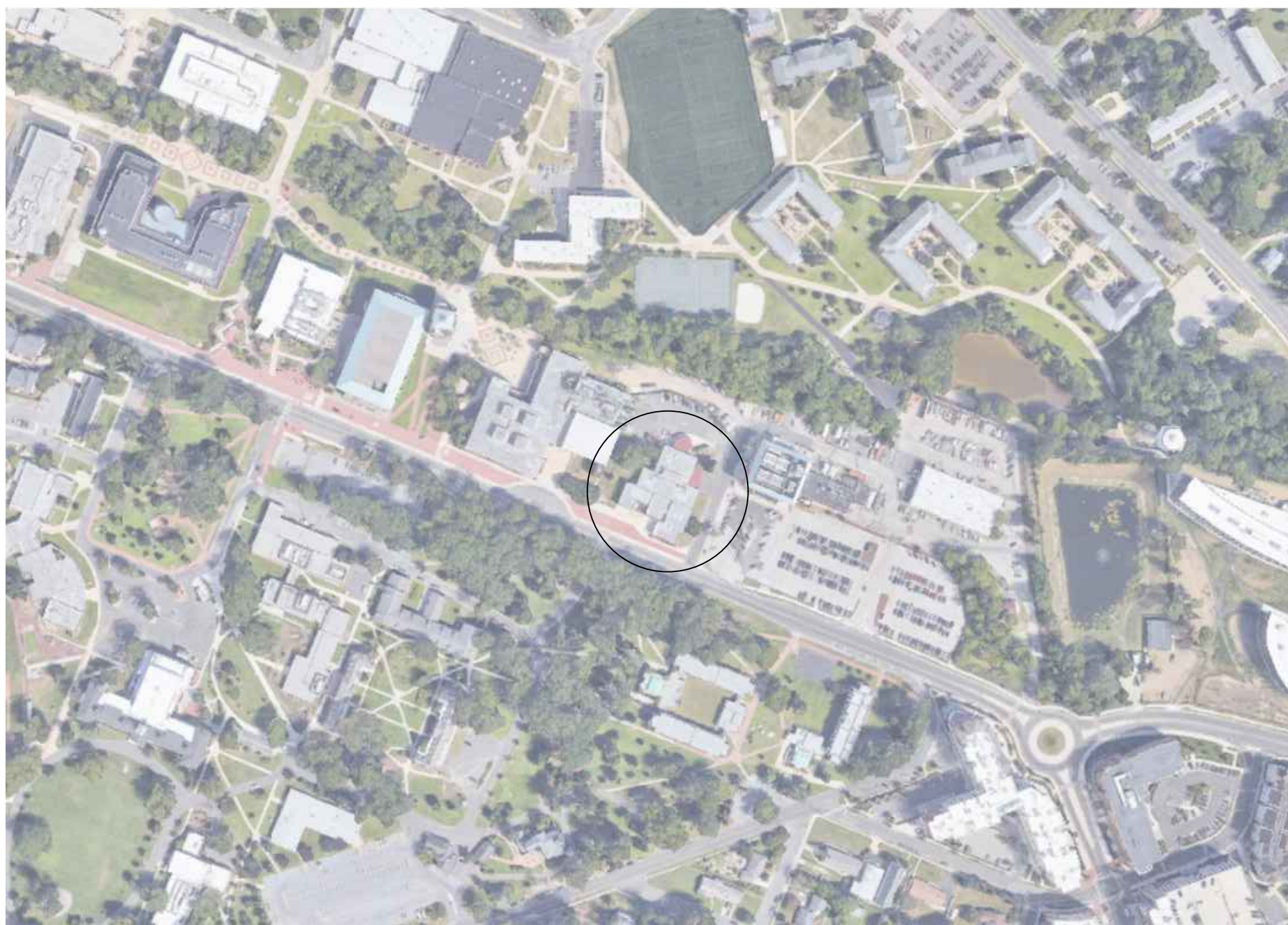
6. THE CONTRACTOR SHALL TAKE ALL RESPONSIBLE PRECAUTIONS AGAINST DAMAGING ANY EXISTING PAVING, UTILITIES, FINISHES, PLANTINGS AND CONSTRUCTION, ETC. NOT INCLUDED WITHIN THE SCOPE OF WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATION OR HIS SUBCONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN RISK AND WITHOUT DELAY.

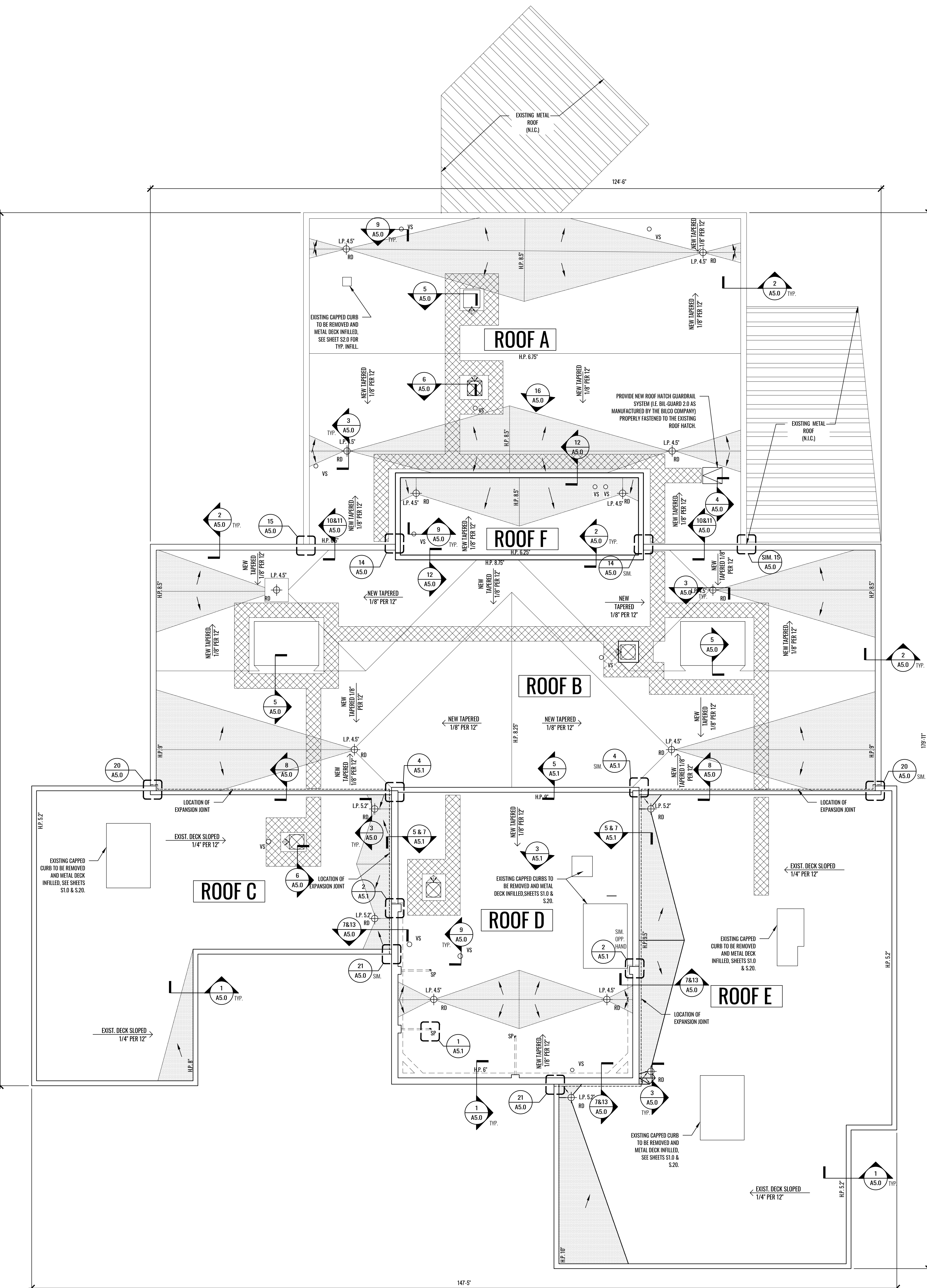
A. CONTRACTOR TO ENSURE PROPER PROTECTION OF ALL ROOF SYSTEMS DURING THE COURSE OF OTHER WORKS WHICH SHALL INCLUDE AT A MINIMUM INSTALLING 1" MIN. RIGID INSULATION OVER 1/2" PLYWOOD(S) OR 3/4" COVER BOARD(S) 4' WIDE MIN. AREA OF WORK ABOVE THE ROOF, AS WELL AS PATHWAYS/ACCESS ADJACENT TO THE ADJACENT ROOF SURFACES LEADING TO AREAS OF WORK.

B. CONTRACTOR TO COMPLETION OF WORK SHALL BE RESPONSIBLE TO MAINTAIN ACCESS TO ALL ROOF SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ENCASEMENT/COVER WITH THE EXISTING ROOF SYSTEM. MATERIAL TO CERTIFY THE ROOF WEARABILITY IS ADJUSTED, & PROVIDE A LETTER FROM THE MANUF. FOR PROTECT RECORDS.

C. WHERE AS SCOPE OF WORK REQUIRES WORK AT LOW/STREET ROOF AREA THE CONTRACTOR SHALL ENSURE PROPER PROTECTION OF EXIST. ROOF DRAINAGE SYSTEMS THROUGHOUT THE WORK AND SHALL INSURE & DEMONSTRATE TO OWNER REPRESENTATIVE THE OPERABILITY OF THE EXIST. DRAINAGE SYSTEMS UPON COMPLETION OF WORK. CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING TO ALL ROOF SURFACES TO BE PROTECTED FROM DAMAGE.

D. ALL PAVERS WITHIN THE WORK AREA TO BE TRAVELLED BY CONSTRUCTION PERSONNEL AND/OR EQUIPMENT SHALL BE PROTECTED WITH MINIMUM 1/2" PLYWOOD(S) OR 3/4" COVER BOARD(S) AND AS OTHERWISE REQUIRED TO PREVENT DAMAGE TO PAVERS FROM THE CONTRACTOR'S OPERATIONS.





5 ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF TOP EQUIPMENT NOTES

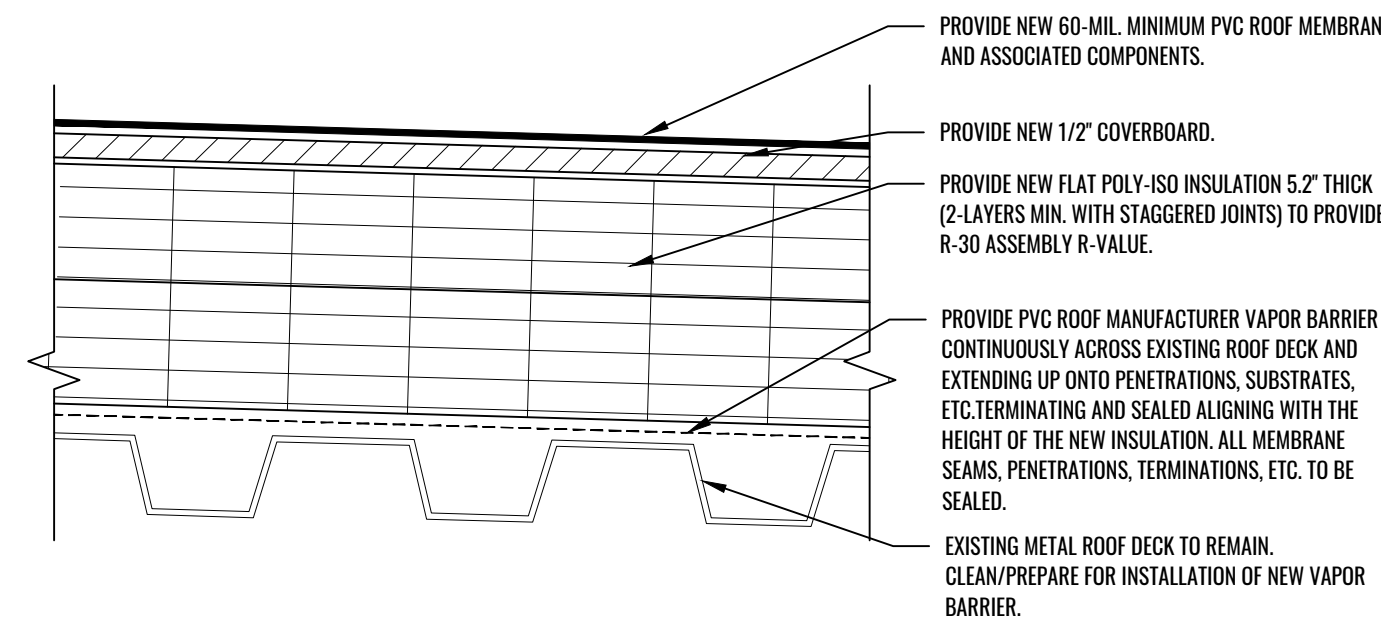
- CONTRACTOR IS TO CAREFULLY REMOVE AND RAISE ALL EXISTING AIR IN-TAKE UNITS, REFRIGERATION UNITS, EXHAUST FANS, HODS, VENTILATORS, PPK PENETRATIONS, UTILITIES, ETC. TO REMAIN AT ALL UNITS NOTED WITHIN THE DRAWINGS TO ENSURE A MINIMUM ROOF TERMINATION 12" ABOVE THE NEW FINISHED ROOF AT ALL ROOFS INCLUDED WITHIN THE SCOPE OF THIS PROJECT. CONTRACTOR TO COORDINATE HEIGHTS OF NEW CURBS WITH TAPERED INSULATION LAYOUT. REMOVE AND REINSTALL EQUIPMENT AND EXTEND ALL EXISTING DUCTWORK AND PIPING, CONDUIT AND WIRING, AND CONTROLS AS REQUIRED TO ACCOMMODATE NEW ROOF CURB ELEVATIONS. ALL EXTENDED UTILITIES AND DUCTWORK TO MATCH EXISTING AND IN ACCORDANCE WITH CURRENT CODE REQUIREMENTS. FOR ALL REFRIGERANT PIPING, RELOCATION, RECOVERY AND RECLAIM EXISTING REFRIGERANT WITHIN PIPING SYSTEM PER ALL LOCAL AND FEDERAL REGULATIONS AND CODES. RELOCATE/EXTEND PIPING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND RECHARGE WITH REFRIGERANT AND OIL AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT REPORTS OF ALL EQUIPMENT AIR, HYDROIC, AND REFRIGERATION PERFORMANCE DATA BEFORE AND AFTER CONSTRUCTION. NOTE ANY DISCREPANCIES ON EQUIPMENT PERFORMANCE AND CONDITION.
- THE CONTRACTOR IS TO COORDINATE ALL ROOF TOP EQUIPMENT SHUT-DOWNS WITH THE OWNER IN ORDER TO REMOVE, DISCONNECT AND/OR REINSTALL EQUIPMENT UNITS TO ACCOMMODATE WORK OUTLINED HEREIN. THE OWNER REQUIRES A MIN. OF ONE (1) WEEK NOTICE PRIOR TO STARTING WORK. CONTRACTOR TO INDICATE FOR REVIEW ALL EQUIPMENT UNIT SHUT-DOWNS WITHIN THE PROJECT SCHEDULE AND SEQUENCING PLAN TO BE SUBMITTED FOR REVIEW WITH THE OWNER AT PRE-INSTALLATION MEETING PRIOR TO START OF WORK.
- ROOF TOP UNITS MAY HAVE REFRIGERANT, HOT AND/OR CHILLED WATER, ELECTRIC, ETC. CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING, REMOVING AND EXTENDING OF ALL EXISTING UTILITIES, DUCTWORK, CONTROLS, ETC. ALL UNITS TO BE RAISED (I.E. REMOVED AND REINSTALLED) ARE TO BE TESTED/VERIFIED OF EXISTING PERFORMANCE AND OPERATIONS, BOTH MECHANICALLY AND ELECTRICALLY AND EXISTING CONDITIONS RECORDED, PRIOR TO START OF WORK. SUBSEQUENT TO THE COMPLETION OF THE WORK, ALL UNITS RAISED AND REINSTALLED ARE TO BE REBALANCED BOTH MECHANICALLY AND ELECTRICALLY IN ACCORDANCE WITH THE PRECONSTRUCTION TESTING. CONTRACTOR IS TO NOTIFY THE OWNER A MIN. OF ONE (1) WEEK PRIOR TO TESTING/BALANCING OF EQUIPMENT/UNITS. ALL TEST RECORDS ARE TO BE SUBMITTED TO THE OWNER FOR REVIEW WITHIN 12 HOURS.
- CONTRACTOR TO PROVIDE AND MAINTAIN FILTER MEDIA/FABRIC AT ALL BUILDING MECHANICAL UNITS AND AIR INTAKES TO BE REVIEWED AND APPROVED BY THE OWNER AT THE PRECONSTRUCTION MEETING PRIOR TO THE COMMENCEMENT OF WORK TO PREVENT ANY DUST, OIL, OR OTHER CONSTRUCTION RELATED DEBRIS FROM ENTERING. SUBSEQUENT TO THE COMPLETION OF THE WORK, THE CONTRACTOR IS TO REMOVE AND REPLACE THE EXISTING AIR FILTERS IN ALL AIR IN-TAKE UNITS. CONTRACTOR TO COORDINATE WITH THE OWNER FOR TYPE AND SIZE OF REPLACEMENT AIR FILTERS.
- ANY MERCURY CONTAINING DEVICES IMPACTED BY THE REMOVAL WORK OUTLINED WITHIN THE PROJECT DOCUMENTS IS TO BE RECOVERED FOR PROPER DISPOSAL BY THE CONTRACTOR AS UNIVERSAL WASTE. CONTRACTOR TO COORDINATE WITH THE OWNER.
- ANY HVAC SYSTEM AND ASSOC. EQUIP. THAT REQUIRES DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE WITH AN EQUIVALENT ENERGY STAR COMPLIANT SYSTEM WITH ALL BMS POINTS, DEVICES, CABLEING AND SYSTEMS FOR A FULLY FUNCTIONING REPLACEMENT.

LEGEND

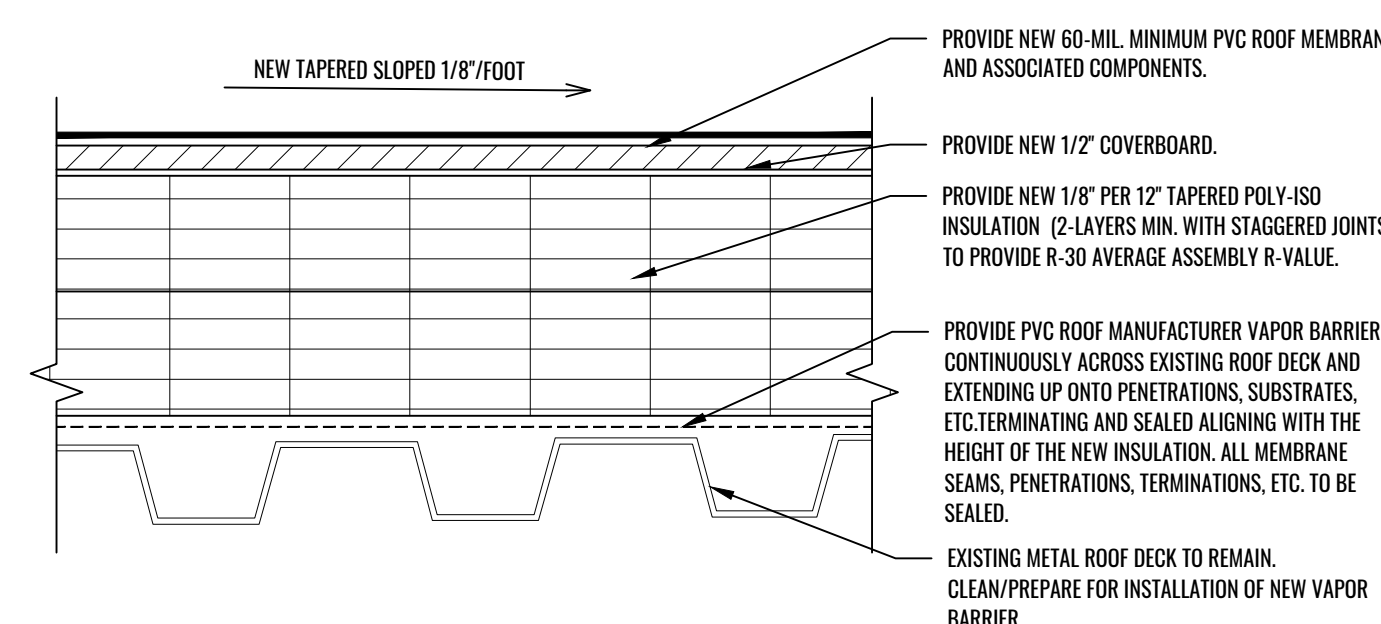
- LOCATION OF EXHAUST FANS/MECHANICAL UNIT CURBS
- LOCATION OF DUCT PENETRATIONS
- LOCATION OF ROOF HATCH
- LOCATION OF ROOF DRAIN
- LOCATION OF VENT STACKS
- LOCATION OF STEEL PENETRATIONS
- LOCATION OF NEW WALKWAY PADS

REMOVAL WORK NOTES

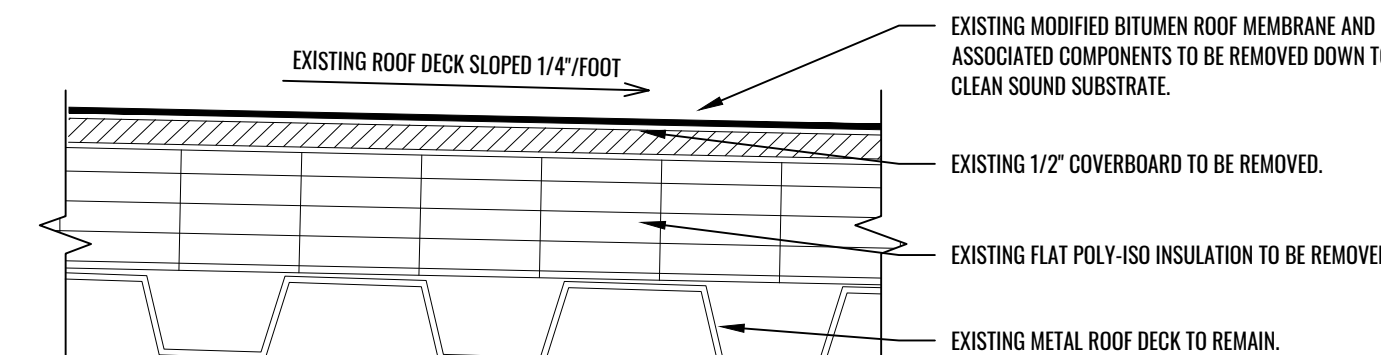
- CAREFULLY REMOVE THE EXISTING LOW-SLOPED MODIFIED BITUMEN ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS (I.E. FASTENERS, METAL FLASHINGS, TERMINATION BARS, ADHESIVES, ETC.) DOWN TO THE EXISTING CLEAN METAL ROOF DECK AT ROOFS A, B, D & E AND PROVIDE NEW PVC ROOF MANUFACTURER VAPOR BARRIER, 1/8" PER 12" TAPERED POLY-ISO INSULATION, 1/2" COVER BOARD AND PVC ROOF MEMBRANE SYSTEM AND ASSOCIATED COMPONENTS. SEE DRAWING A1.0 FOR ROOF SYSTEM COMPOSITIONS.
- SUBSEQUENT TO THE REMOVAL OF THE EXISTING ROOF AND PRIOR TO THE INSTALLATION OF THE NEW ROOF MEMBRANE SYSTEM, PROPERLY CLEAN/PREPARE THE EXISTING SUBSTRATES AND PROVIDE NEW CONT. SPRAY FOAM INSULATION (I.E. DOW PREST-PUR 200 GPM SEALANT) AS MANU BY DOW CHEMICAL COMPANY, OR APPROVED EQUAL AT ALL PENETRATIONS THROUGH EXISTING ROOF DECK EQUIPMENT CURBS, PARAPET WALLS, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY SCOPING ALL EXISTING ROOF DRAINS FROM THE ROOF THROUGH THE CONNECTION TO BELOW GRADE STORM WATER SYSTEM EXTENDING 4'-0" FROM THE BUILDING. AT BOTH PRE AND POST CONSTRUCTION, CONTRACTOR TO FURNISH ALL REPORTS TO OWNER AND ARCHITECT WITHIN 12 HOURS.
- IN CONJUNCTION WITH THE ROOF REPLACEMENT, PROVIDE NEW ROOF DRAIN INSERTS. SEE DETAIL 3A.5.0.
- CONTRACTOR TO COORDINATE WITH OWNER ALL AREAS OF ROOF REMOVAL AND NEW ROOF INSTALLATION IN ORDER PROVIDE THE PROPER PROTECTION OF INTERIOR SPACES AND FINISHES BELOW DURING CONSTRUCTION, PER THE OWNERS REQUIREMENTS. CONTRACTOR TO PERFORM A PRE AND POST INSPECTION OF THE EXISTING INTERIOR CEILING TILES INSTALLED BELOW THE ROOF DECK FOR DEBRIS AND CLEAN/REMOVE ALL CONSTRUCTION DEBRIS TO THE COMPLETE SATISFACTION OF THE OWNER.
- CAREFULLY REMOVE THE EXISTING LOW-SLOPED MODIFIED BITUMEN ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS (I.E. FASTENERS, METAL FLASHINGS, TERMINATION BARS, ADHESIVES, ETC.) DOWN TO THE EXISTING CLEAN METAL ROOF DECK AT ROOFS C, E & F AND PROVIDE NEW PVC ROOF MANUFACTURER VAPOR BARRIER, 1/8" PER 12" TAPERED POLY-ISO INSULATION, 1/2" COVER BOARD AND PVC ROOF MEMBRANE SYSTEM AND ASSOCIATED COMPONENTS. SEE DRAWING A1.0 FOR ROOF SYSTEM COMPOSITIONS.
- ALL EXISTING ROOF TOP MECHANICAL EQUIPMENT IS TO REMAIN, UNLD. CONTRACTOR TO CAREFULLY RAISE ALL ROOFTOP EQUIPMENT UNITS AND EXTEND ALL EXISTING DUCTWORK AND UTILITIES TO ACCOMMODATE NEW ROOF TERMINATION 12" MIN. ABOV THE FINISHED ROOF LEVEL. SEE ROOFTOP EQUIPMENT NOTES ON A1.0.
- SUBSEQUENT TO THE REMOVAL OF THE EXISTING ROOF AND PRIOR TO THE INSTALLATION OF THE NEW ROOF MEMBRANE SYSTEM, PROPERLY CLEAN/PREPARE THE EXISTING SUBSTRATES AND PROVIDE NEW CONT. SPRAY FOAM INSULATION (I.E. DOW PREST-PUR 200 GPM SEALANT) AS MANU BY DOW CHEMICAL COMPANY, OR APPROVED EQUAL AT ALL PENETRATIONS THROUGH EXISTING ROOF DECK EQUIPMENT CURBS, PARAPET WALLS, ETC.
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- IN CONJUNCTION WITH THE ROOF REPLACEMENT, CAREFULLY CUT/MOIFY THE BASE OF THE EXISTING FORMWORK STUCCO WALLS ABOVE THE ROOFS TO ALLOW FOR PROPER TERMINATION OF THE NEW ROOF MEMBRANE SYSTEM. INSTALL NEW 2" PEER 22 GA S.S. FLASHING AND STOP-UP WITH NEW SELF-ADHERED MEMBRANE FLASHING TO EXISTING SUBSTRATE. PATCH/REPAIR BASE OF STUCCO WITH NEW LATHE AND STUCCO, FEATHERED INTO EXISTING WALL PRIME/PREPARE ALL EXISTING STUCCO WALLS AND INSTALL NEW WATERPROOF COATING SYSTEM ACROSS THE ENTIRE STUCCO WALL, FULL HEIGHT. COLOR TO BE SELECTED BY OWNER. SEE DETAIL 12A.5.0.



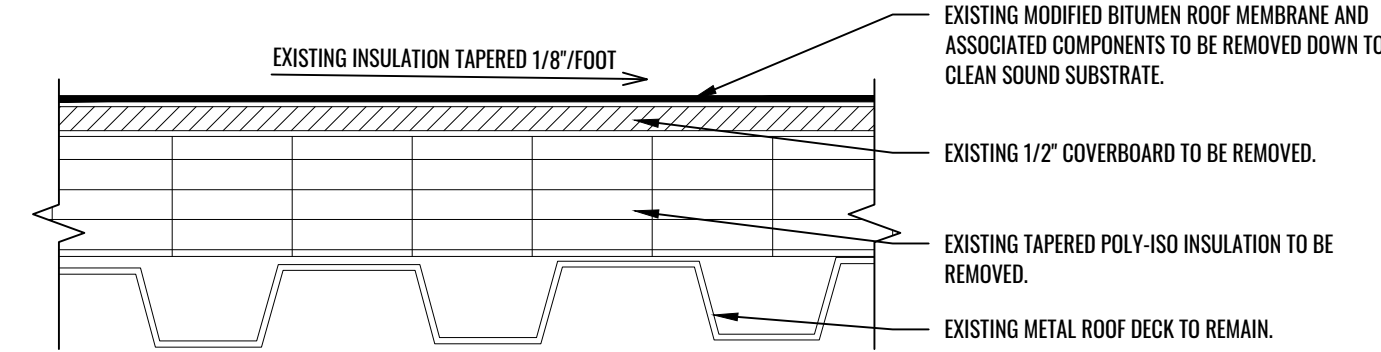
4 NEW ROOF COMPOSITION - ROOFS C & E
SCALE: A1.0



3 NEW ROOF COMPOSITION - ROOFS A, B, D & F
SCALE: A1.0



2 EXISTING ROOF COMPOSITION - ROOFS C & E
SCALE: A1.0

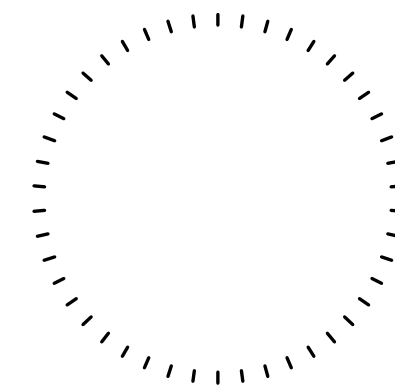


1 EXISTING ROOF COMPOSITION - ROOFS A, B, D & F
SCALE: A1.0

DCA



17 W. KNIGHT AVENUE
2ND FLOOR
COLLINGSWOOD, NJ 08108
P: 856.541.9255
F: 856.541.9259



Consultants



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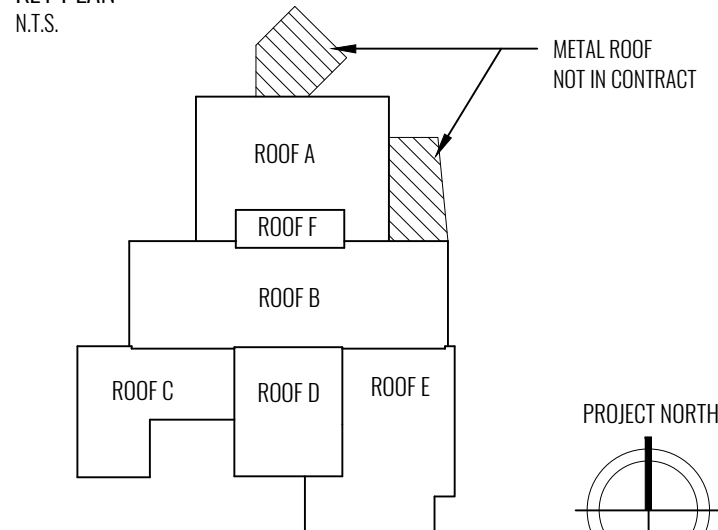
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KEY PLAN

N.T.S.



PROJECT DRAWING LIST

Drawing No.	Drawing Title	Revision No.	Revision Date
CS	COVER SHEET & GENERAL NOTES	X	XX/XX/XX
A1.0	ROOF PLAN & NOTES		
A1.1	WIND UPLIFT ROOF PLAN		
A5.0	DETAILS		
A5.1	DETAILS		
S1.0	PARTIAL STRUCTURAL ROOF PLAN		
S2.0	STRUCTURAL DETAILS		

Issue Date

01 OCTOBER 2025

Issue Project No.

2502006

Drawn By

BR

AS NOTED

Project Information

Rowan University

WINANS HALL

201 MULICA HALL RD.

GLASSBORO, NJ 08028

ROOF REPLACEMENT

Drawing Title

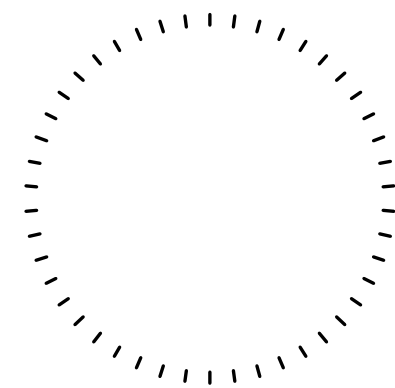
ROOF PLAN

Drawing No.

A1.0



17 W. KNIGHT AVENUE
2ND FLOOR
COLLINGSWOOD, NJ 08108
P: 856.541.9256
F: 856.541.9254



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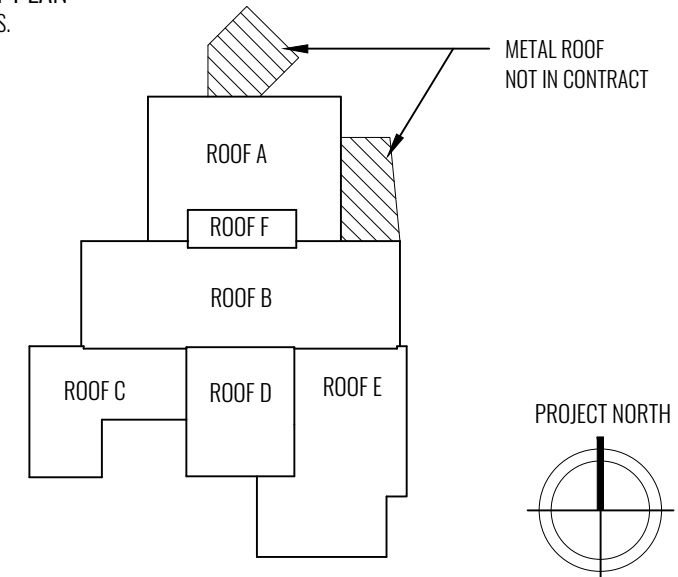
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KEY PLAN

N.T.S.



PROJECT DRAWING LIST

Drawing No.	Drawing Title	Revision No.	Revision Date
CS	COVER SHEET & GENERAL NOTES	X	XX/XX/XX
A1.0	ROOF PLAN & NOTES		
A1.1	WIND UPLIFT ROOF PLAN		
A5.0	DETAILS		
A5.1	DETAILS		
S1.0	STRUCTURAL ROOF PLANS		
S2.0	STRUCTURAL DETAILS		

Issue Date

01 OCTOBER 2025

Use Project No.

2502006

Drawn By

BR

Drawing Issue

CONSTRUCTION ISSUE

Client Project No.

Checked By

LW

AS NOTED

Project Information



WINANS HALL

201 MULLICA HALL RD.
GLASSBORO, NJ 08028

ROOF REPLACEMENT

Drawing Title

WIND UPLIFT ROOF PLAN

Drawing No.

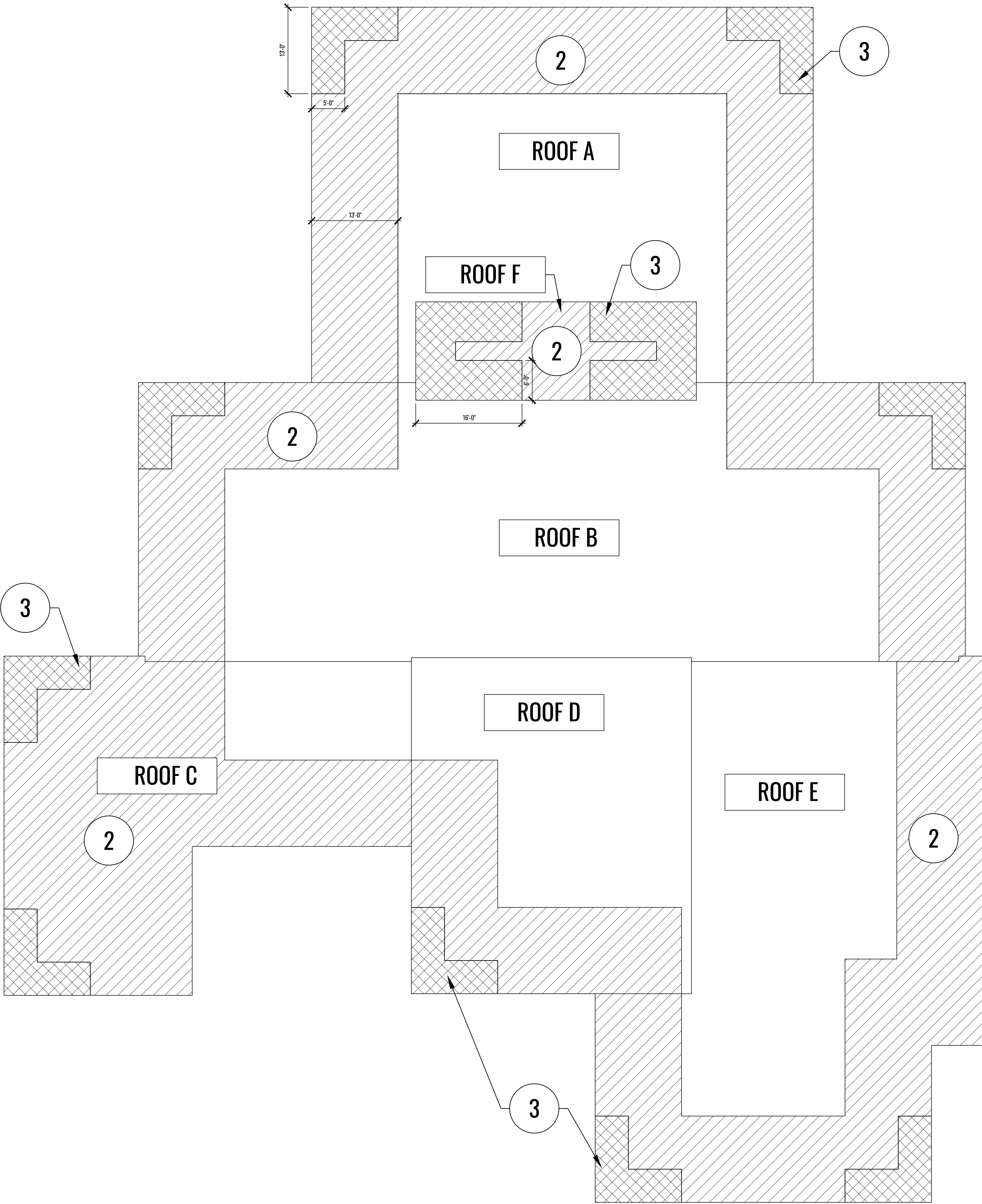
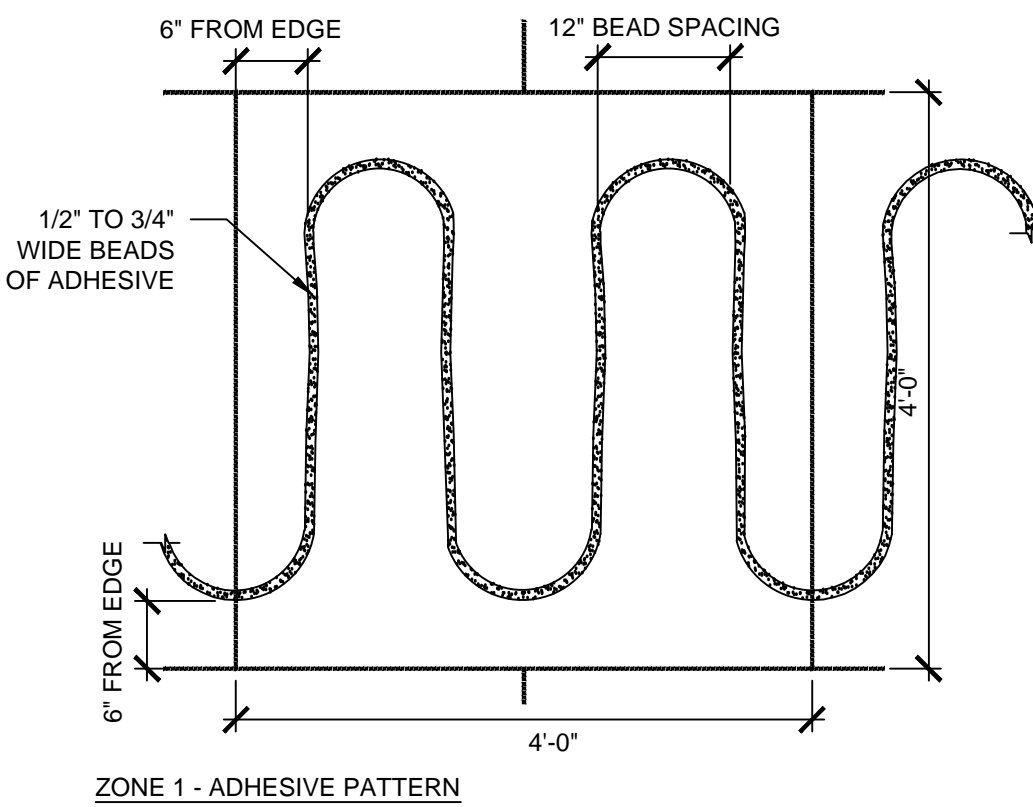
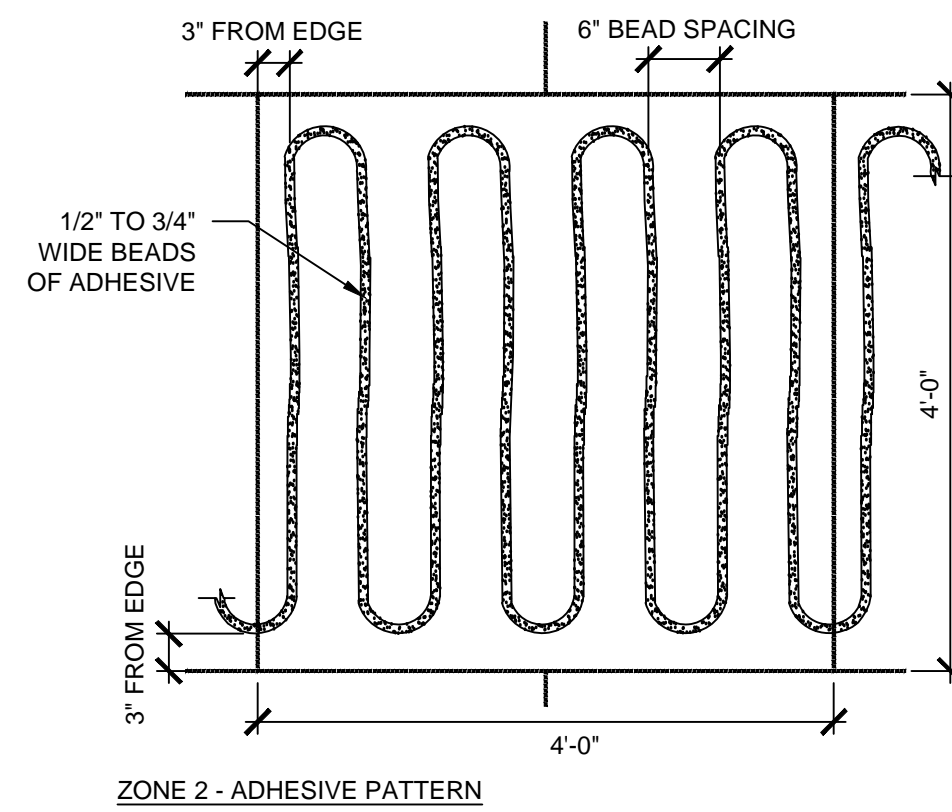
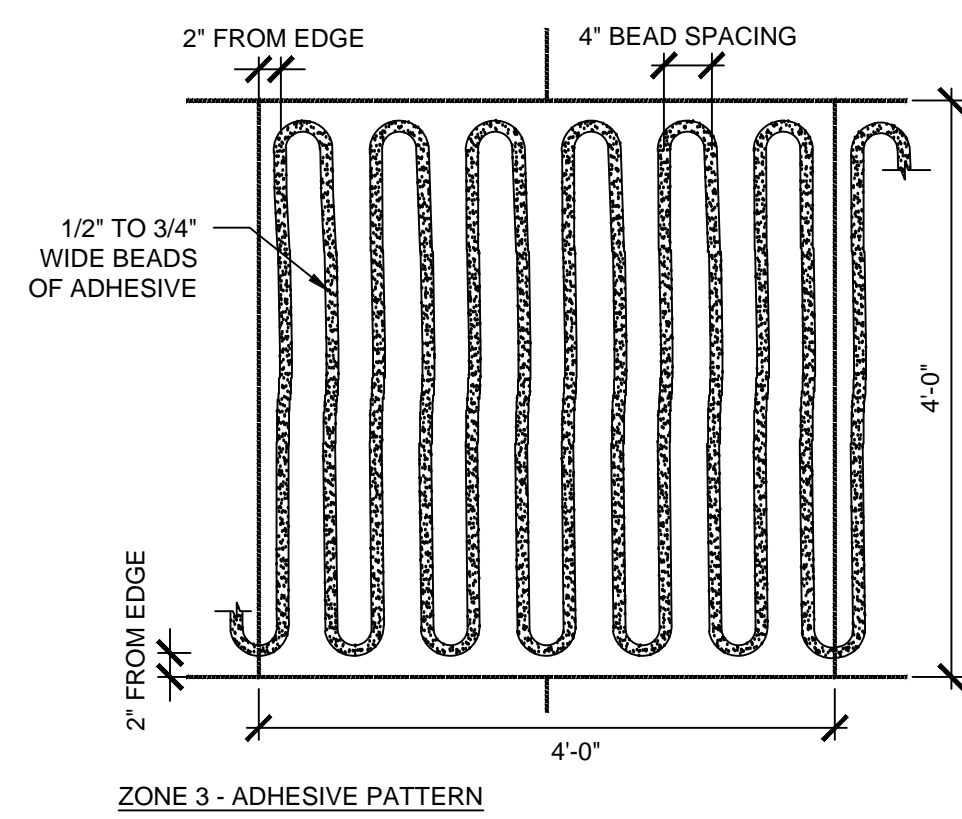
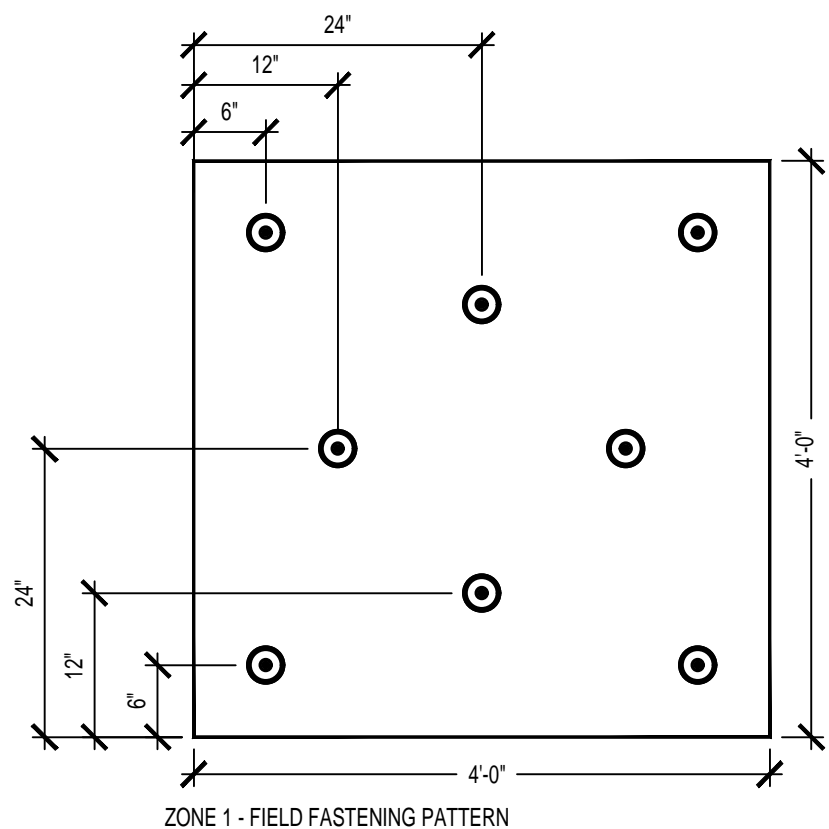
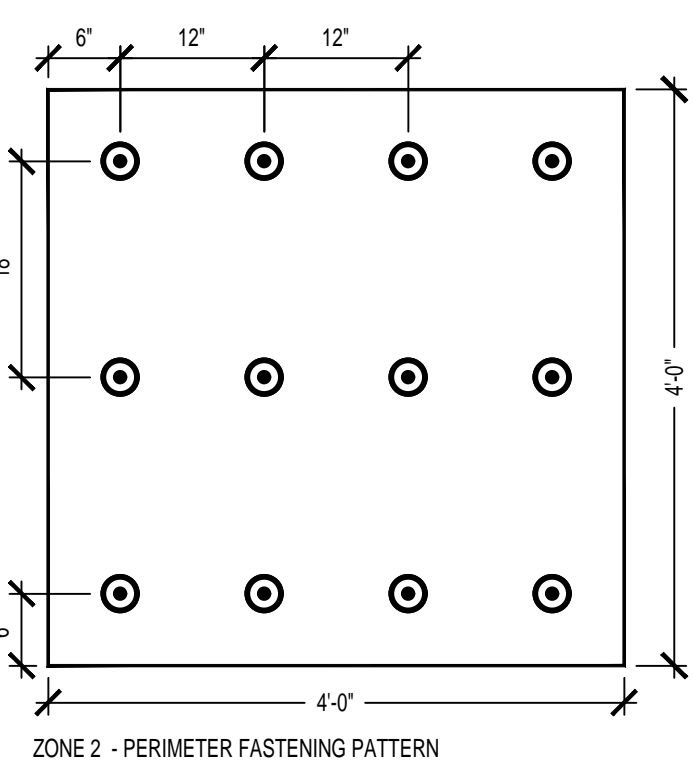
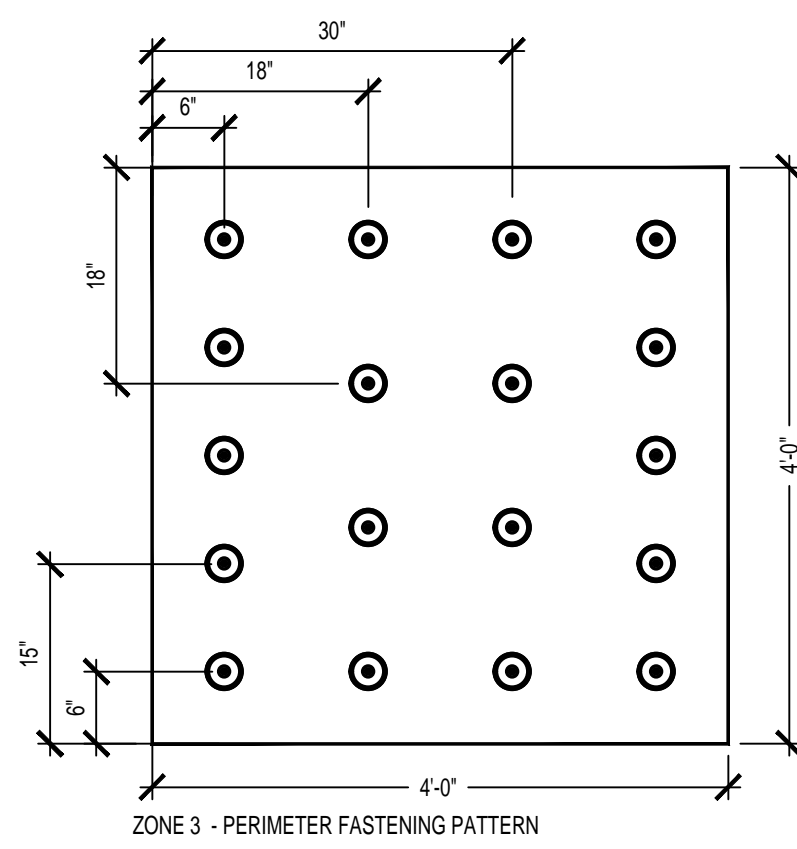
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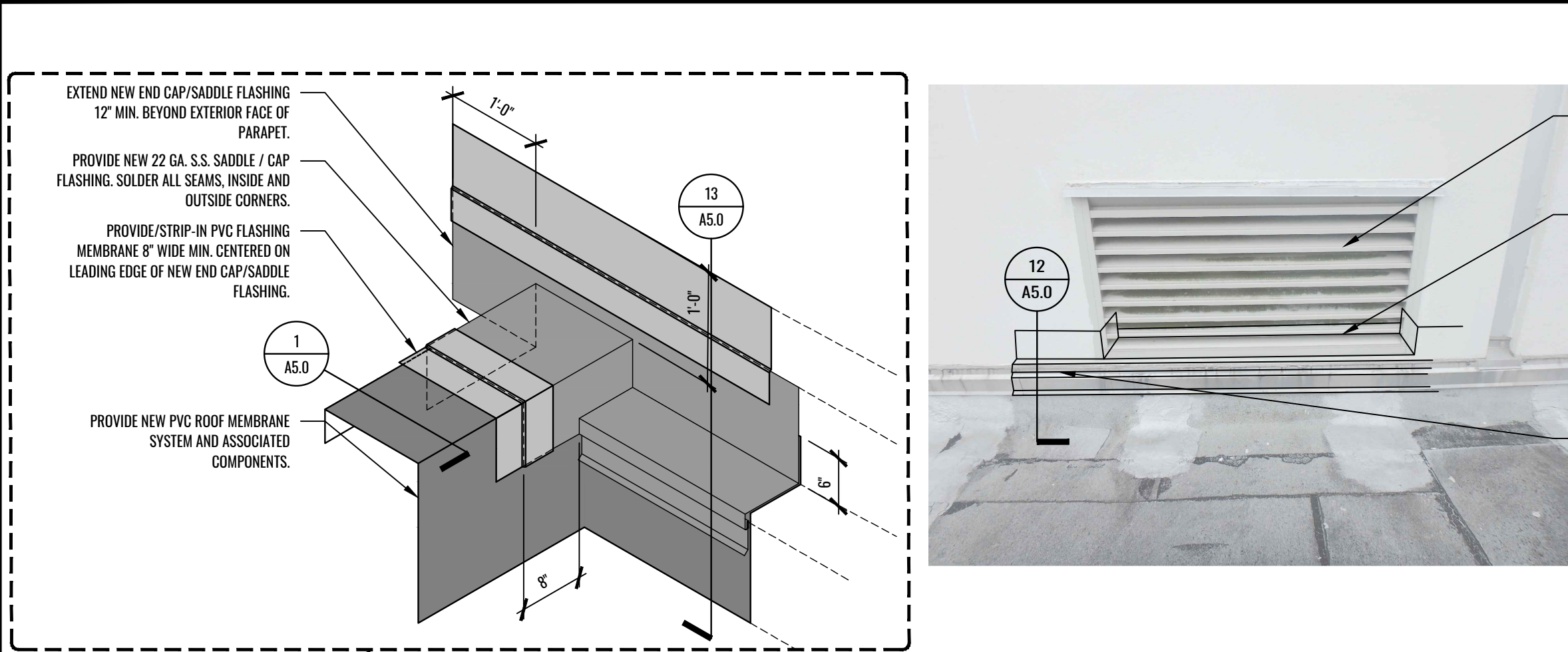
WIND UPLIFT DESIGN / RATE SCHEDULE										
ROOF AREA	MEAN ROOF HEIGHT	LESSER PLAN DIMENSION	SLOPE	PARAPET HEIGHT 3 FT.	ZONE		DESIGN PRESSURE (PSF)	ROOF APPROVAL RATING	ZONE WIDTH	COPING/FASCIA APPROVAL RATING
A	21'-0"	57'	1/8" PER FOOT	N	1	FIELD	45	90		
					2	PERIMETER	60	120	13'	60
					3	CORNER	75	150	13'x13'x5'	72
B	21'-0"	42'	1/8" PER FOOT	N	1	FIELD	45	90		
					2	PERIMETER	60	120	13'	60
					3	CORNER	75	150	13'x13'x5'	72
C	21'-0"	50'	1/8" PER FOOT	N	1	FIELD	45	90		
					2	PERIMETER	60	120	13'	60
					3	CORNER	75	150	13'x13'x5'	72
D	21'-0"	43'	1/8" PER FOOT	Y	1	FIELD	45	90		
					2	PERIMETER	60	120	13'	60
					3	CORNER	75	150	13'x13'x5'	72
E	21'-0"	51'	1/8" PER FOOT	N	1	FIELD	45	90		
					2	PERIMETER	60	120	13'	60
					3	CORNER	75	150	13'x13'x5'	72
F	28'-0"	15'	1/8" PER FOOT	N	1	FIELD	45	90		
					2	PERIMETER	60	120	16'	60
					3	CORNER	75	150	16'x16'x6'	72

UPLIFT DESIGN CRITERIA

BASIC WIND SPEED = 110 MPH USING ASCE 7-16
GROUND ROUGHNESS = CATEGORY B
RISK CATEGORY = I
ENCLOSED BUILDING

WIND UPLIFT PLAN LEGEND	
(X)	WIND UPLIFT ZONE
	FIELD
	PERIMETER
	CORNER



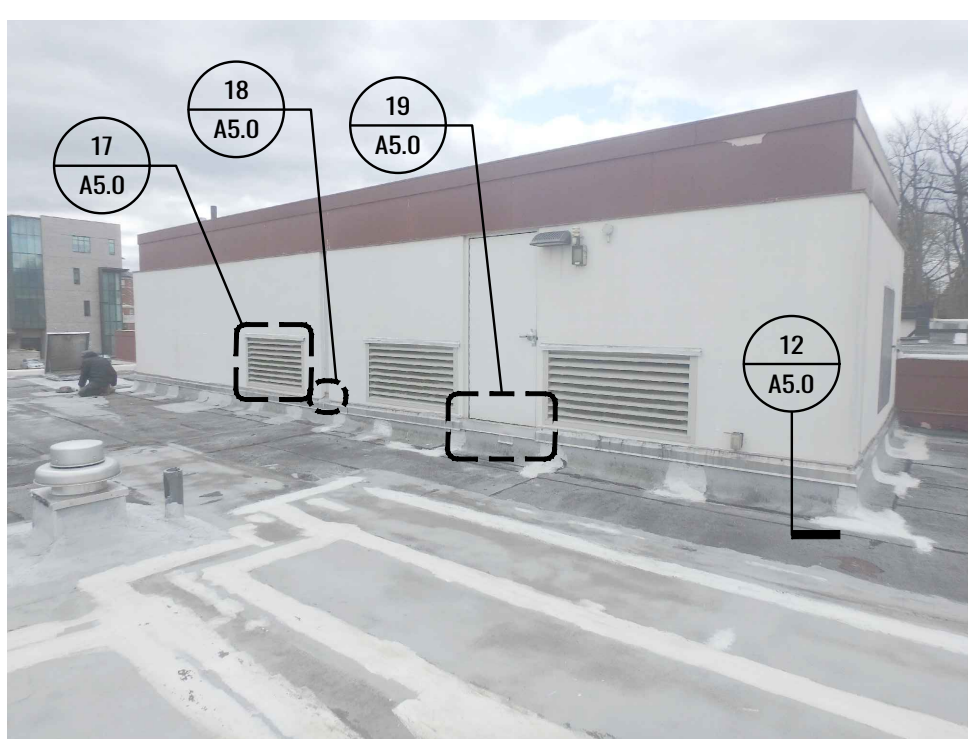
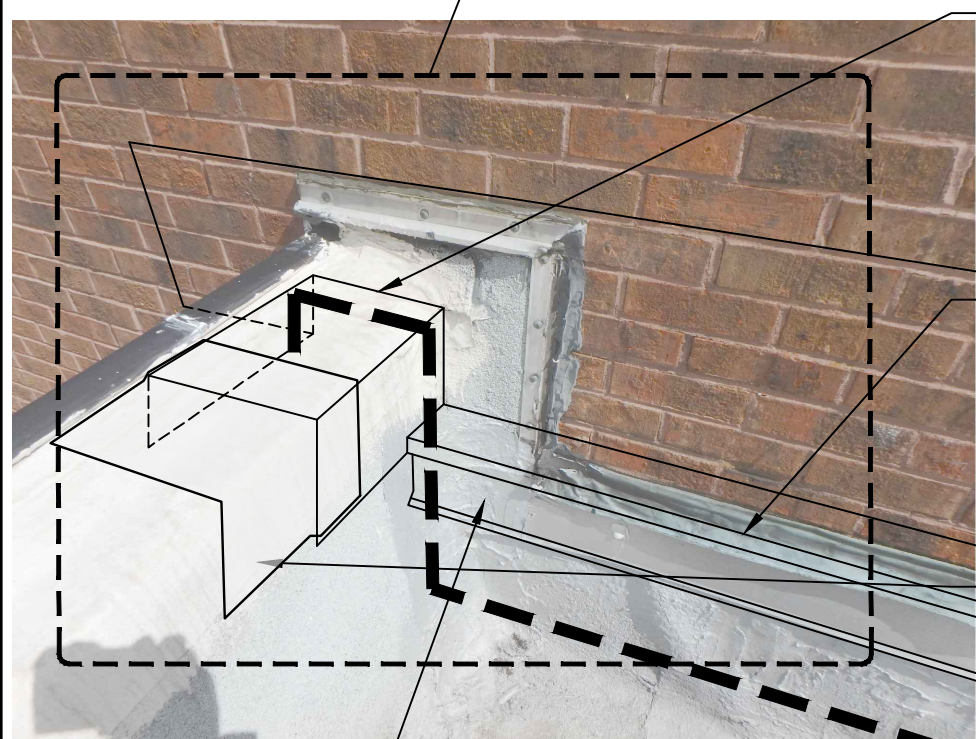


17
A5.0
SCALE: N.T.S.

CAREFULLY REMOVE EXISTING LOUVER, CLEAN AND SAVE REINSTATE UPON COMPLETION OF NEW WORK WITH NEW BACKER ROOF AND SEALANT AT PERIMETER.

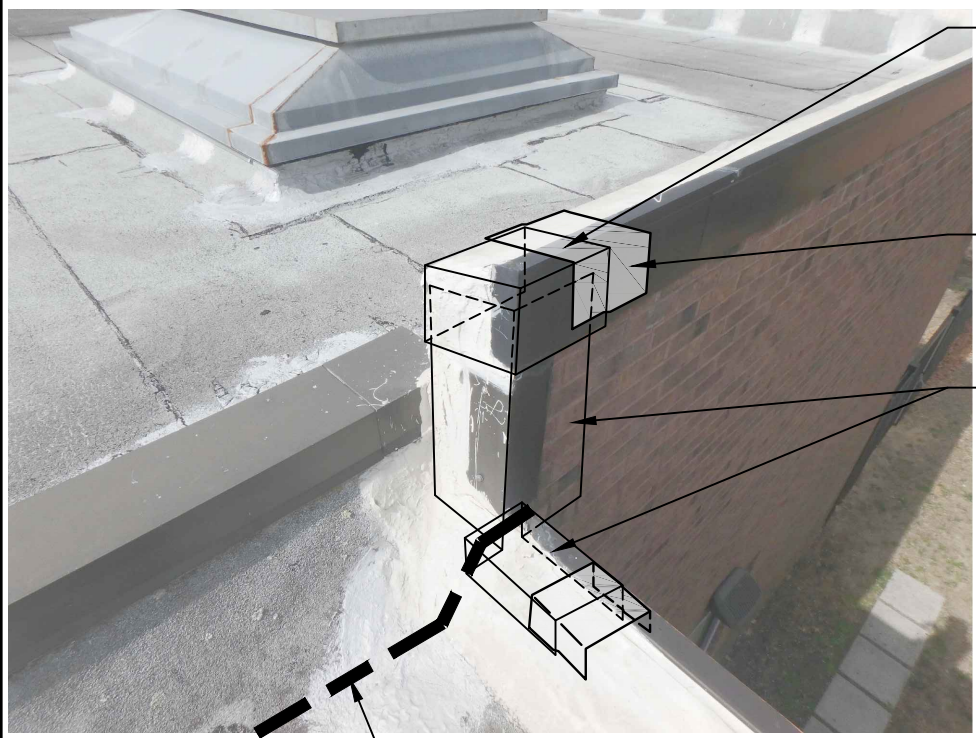
PROVIDE NEW 2-PIECE 22 GA. S.S. SILL FLASHING IN LOUVER OPENING WITH END DAMS AND 1/2" MIN. UPTURNED LEG AT THE INTERIOR AND 4" MIN. COUNTER FLASHING, ALL INSIDE/OUTSIDE CORNERS, END DAMS, ETC. TO BE SOLDERED.

LAP NEW 2-PIECE SILL FLASHING WITH NEW ADJACENT 2-PIECE FLASHING 6" MIN. AND SET IN TWO (2) CONTINUOUS BEADS OF SEALANT.

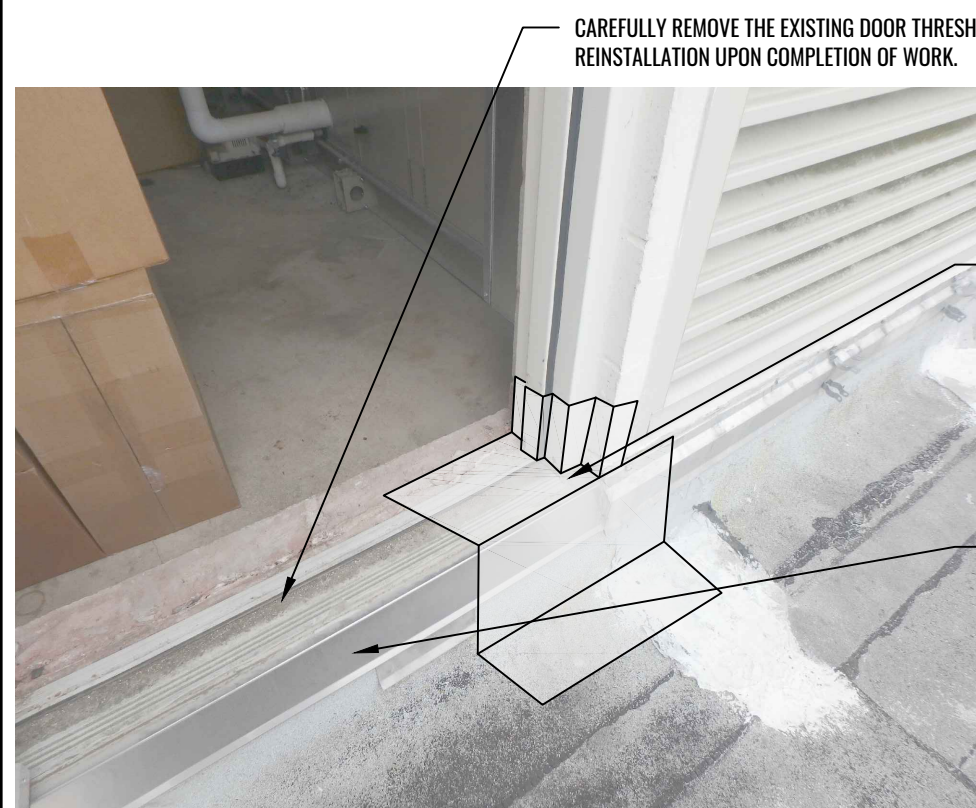


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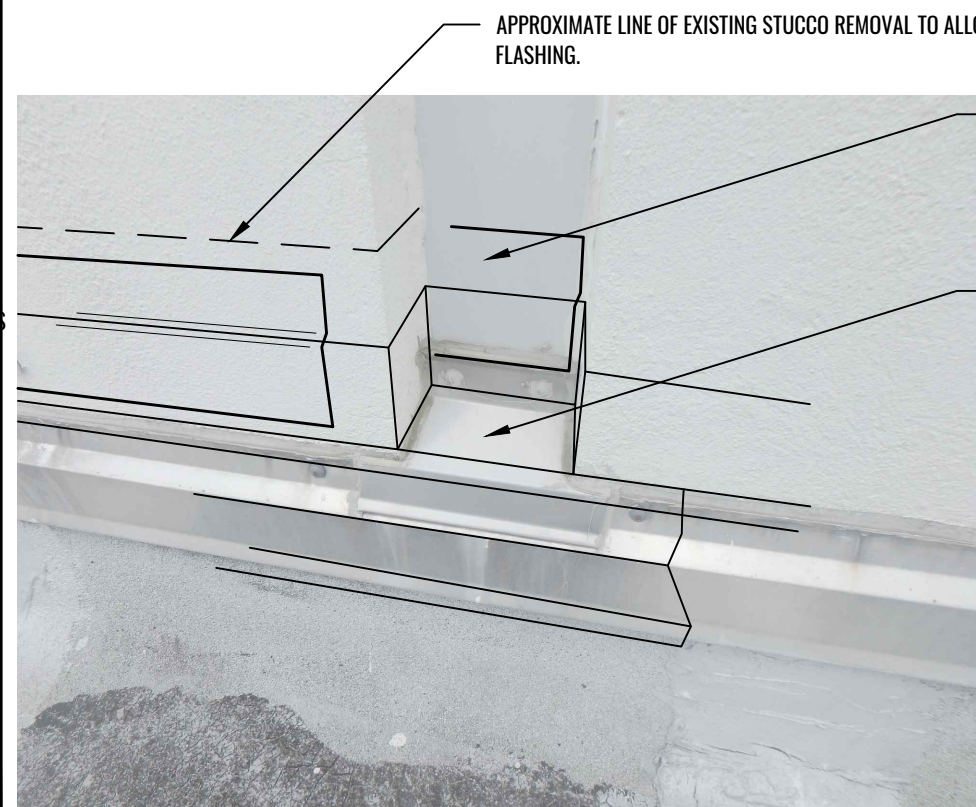
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SCALE: N.T.S.



20
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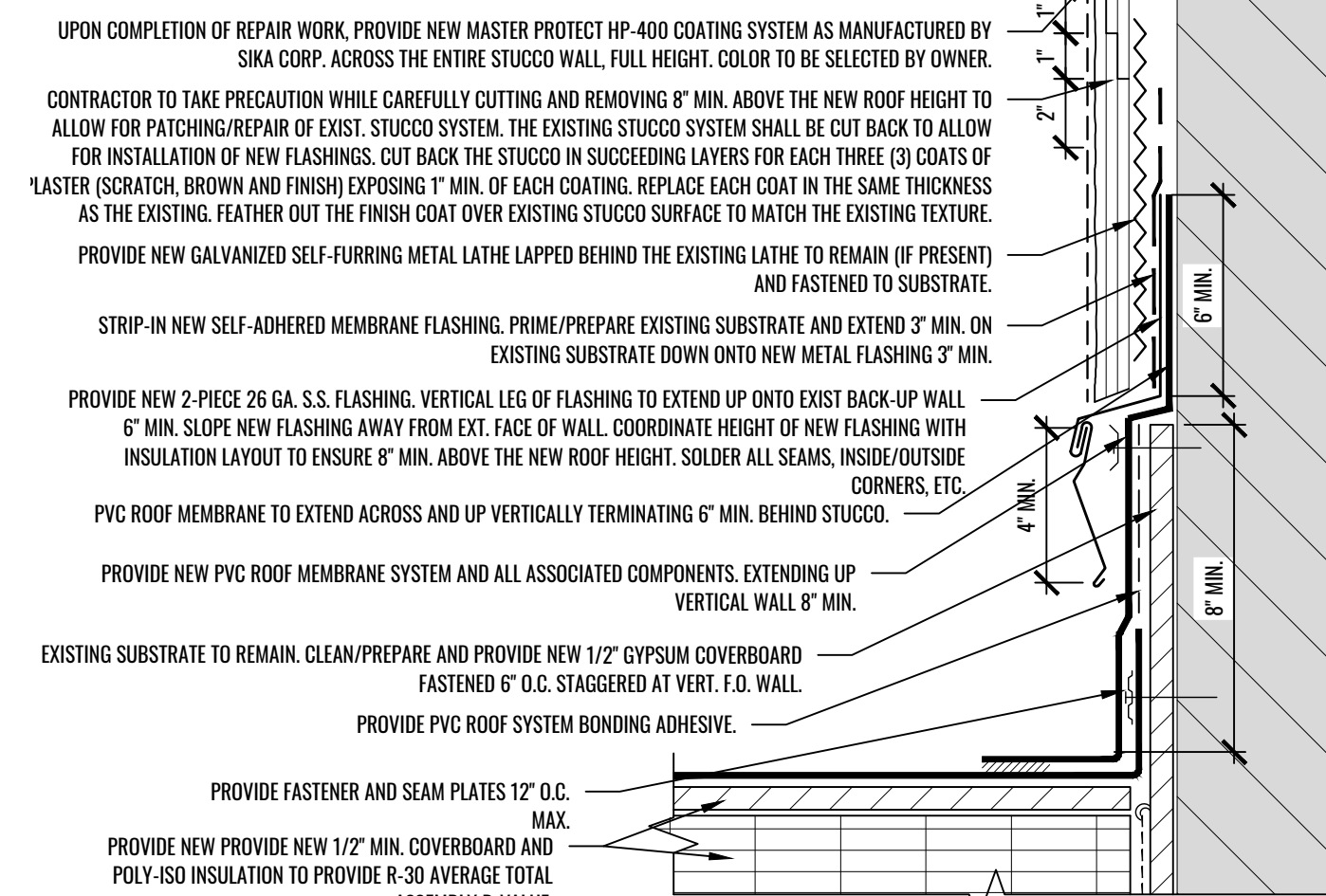
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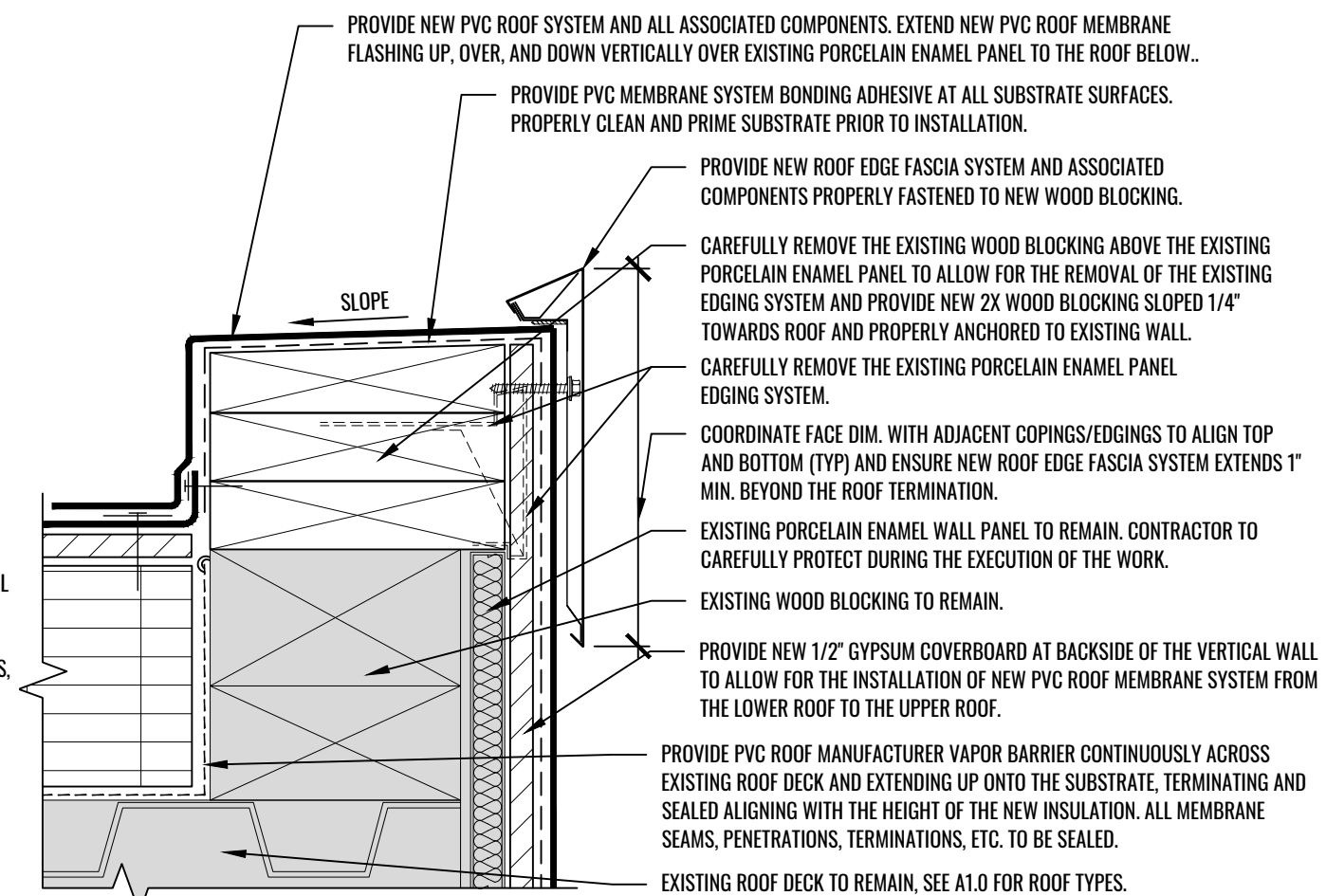
18
A5.0
SCALE: N.T.S.

13
A5.0
SCALE: 3" = 1'-0"

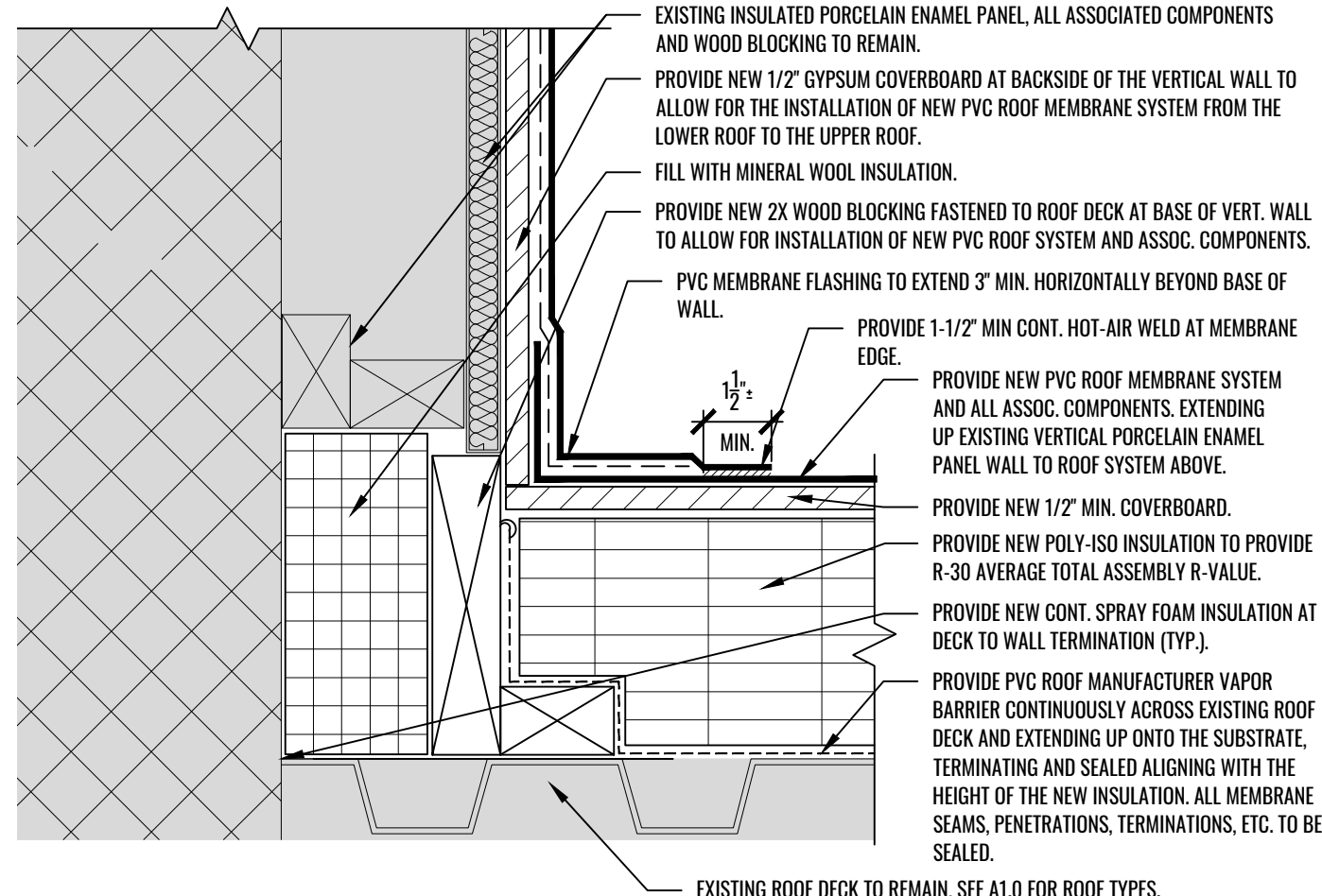
NOTE: EXISTING STUCCO WALL COMPOSITION IS UNKNOWN. CONTRACTOR TO VERIFY EXISTING COMPONENTS AND SECUREMENT AND REVIEW IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION OF NEW COMPONENTS.



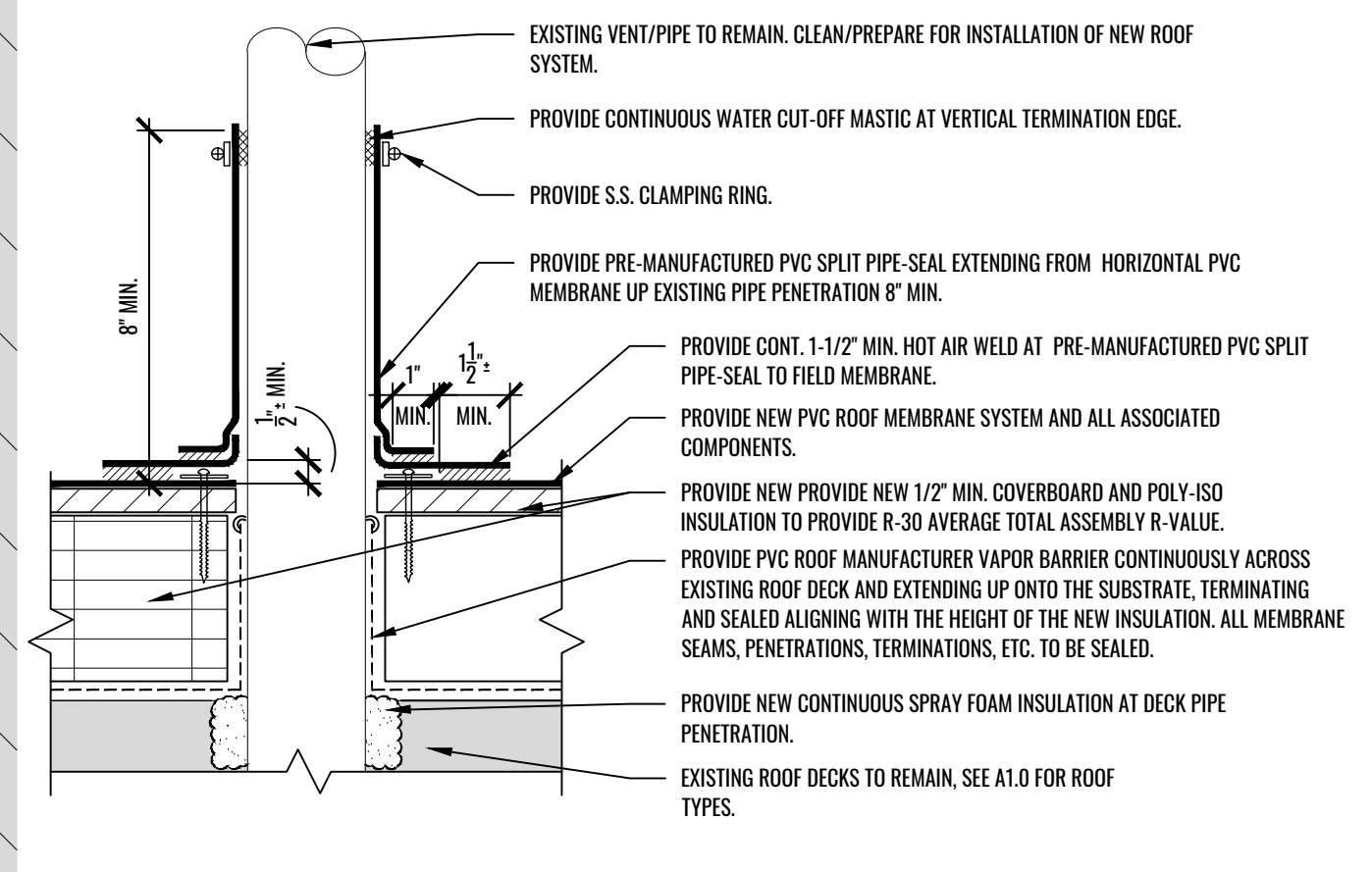
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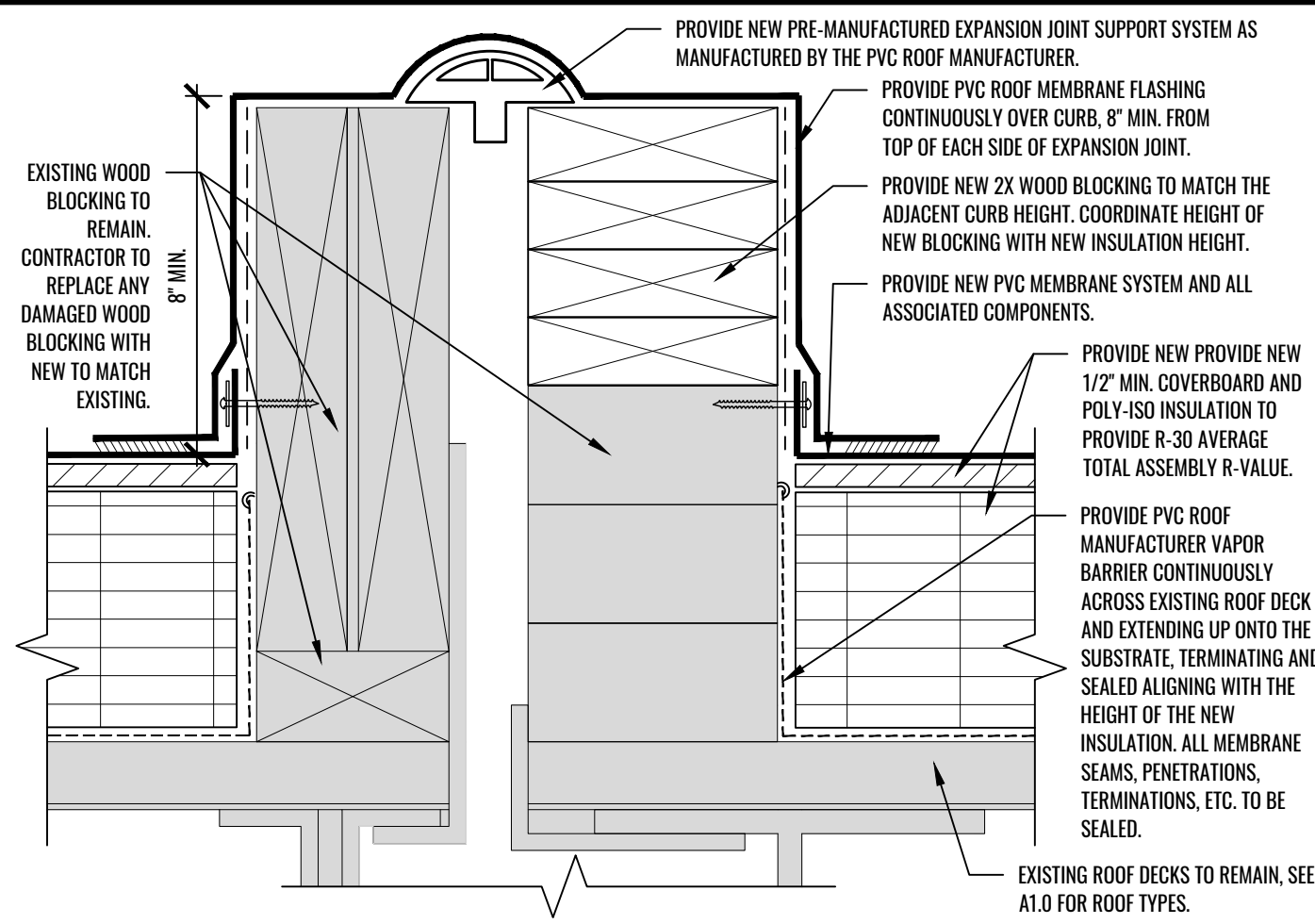
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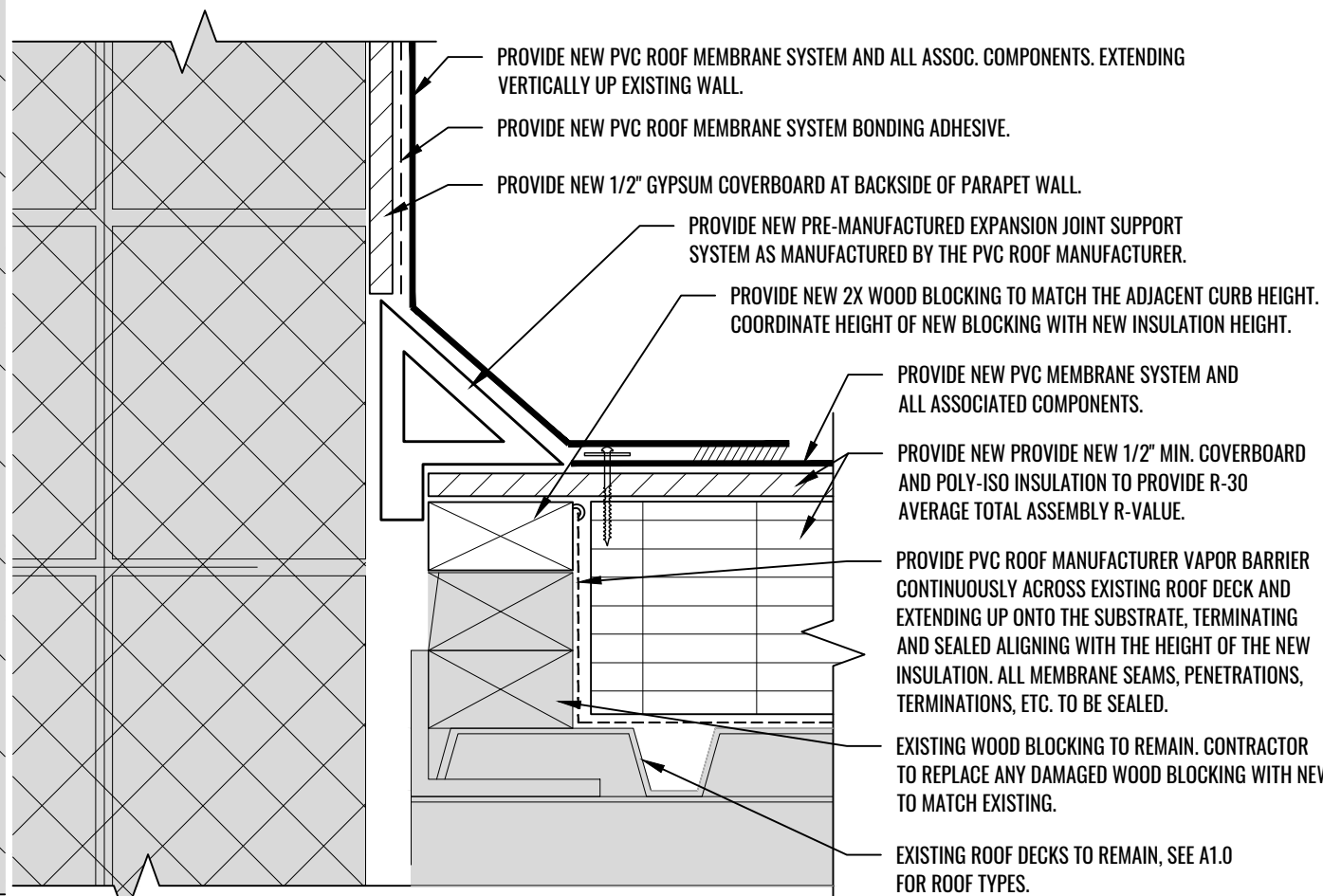
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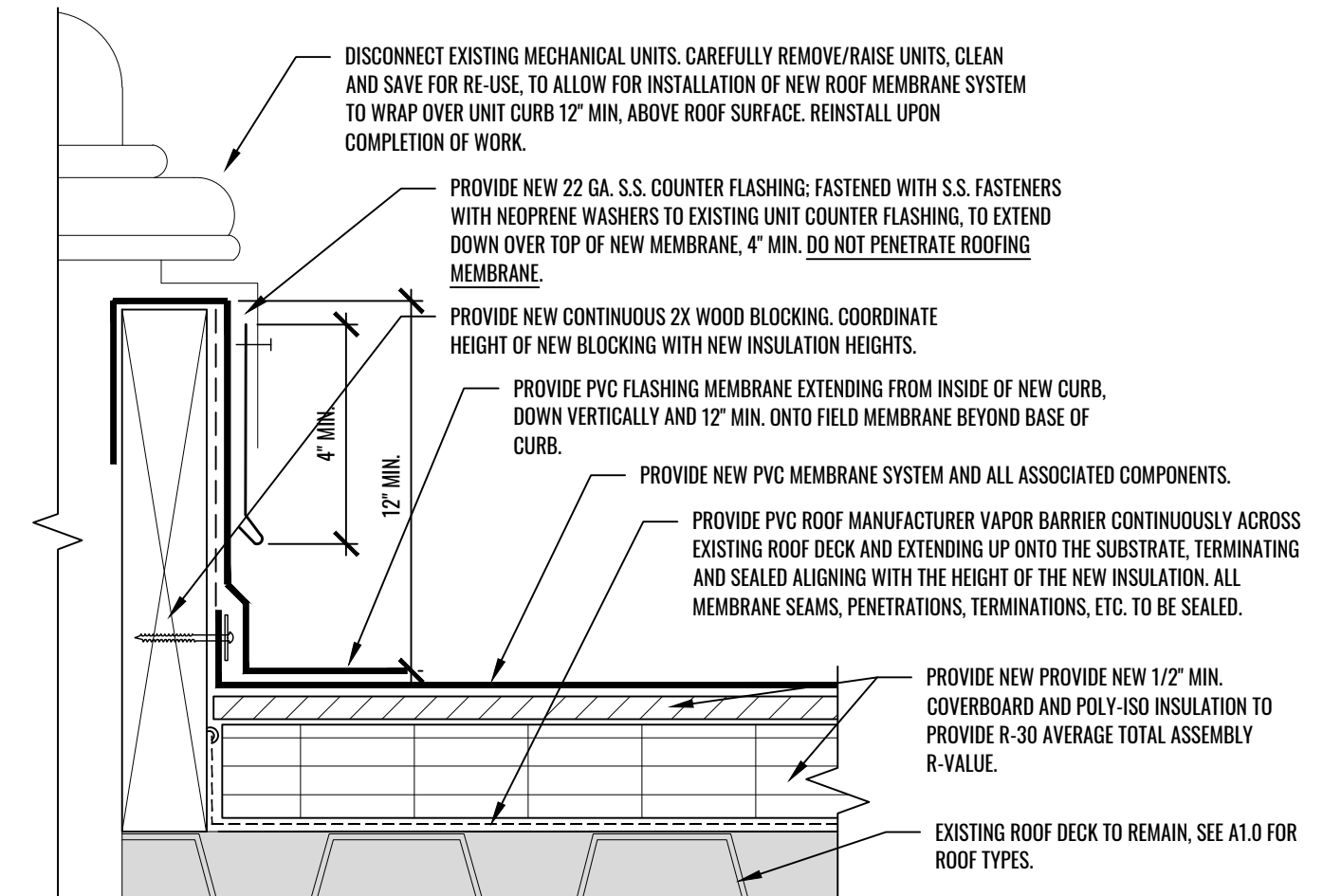
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SCALE: 3" = 1'-0"



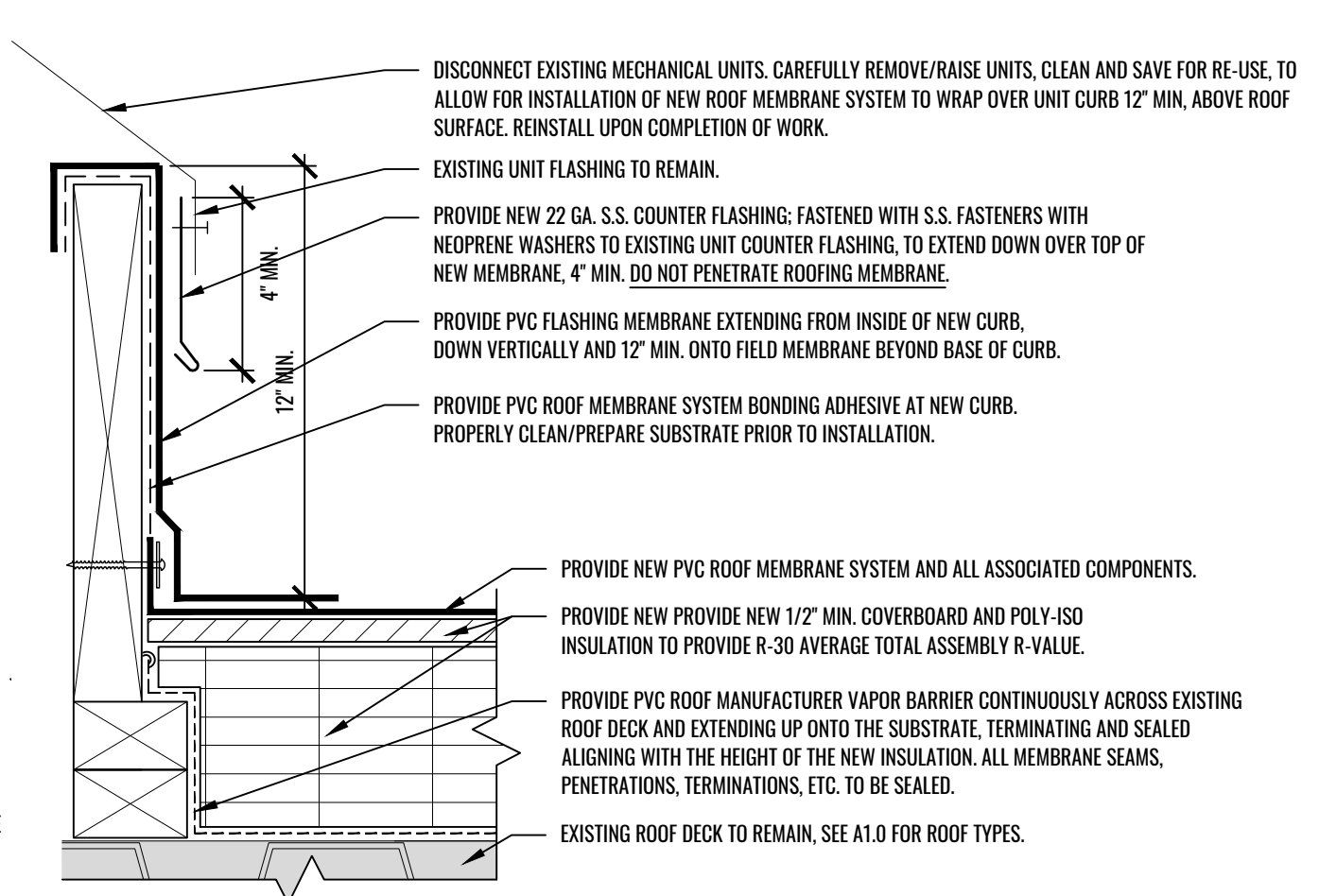
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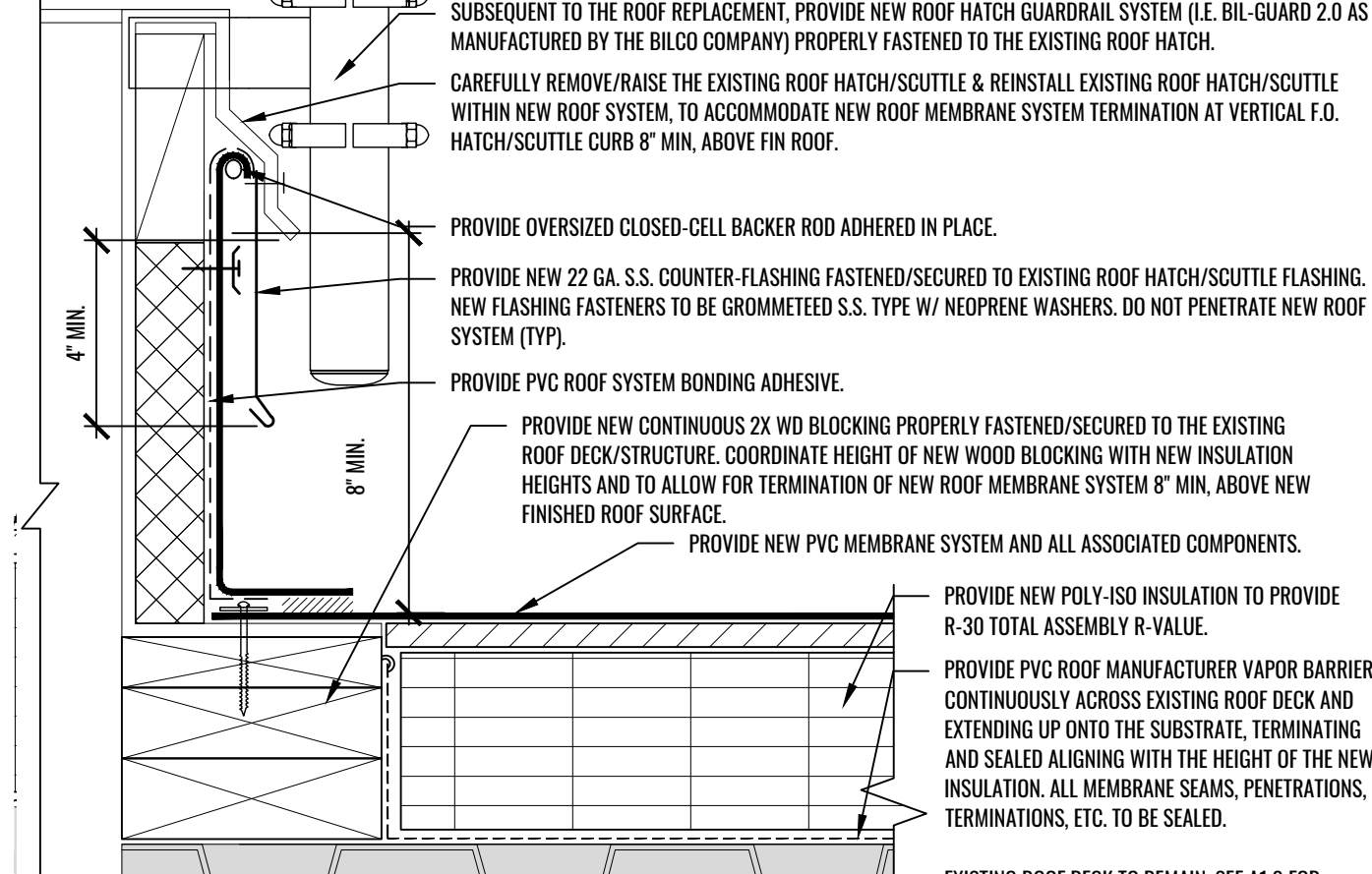
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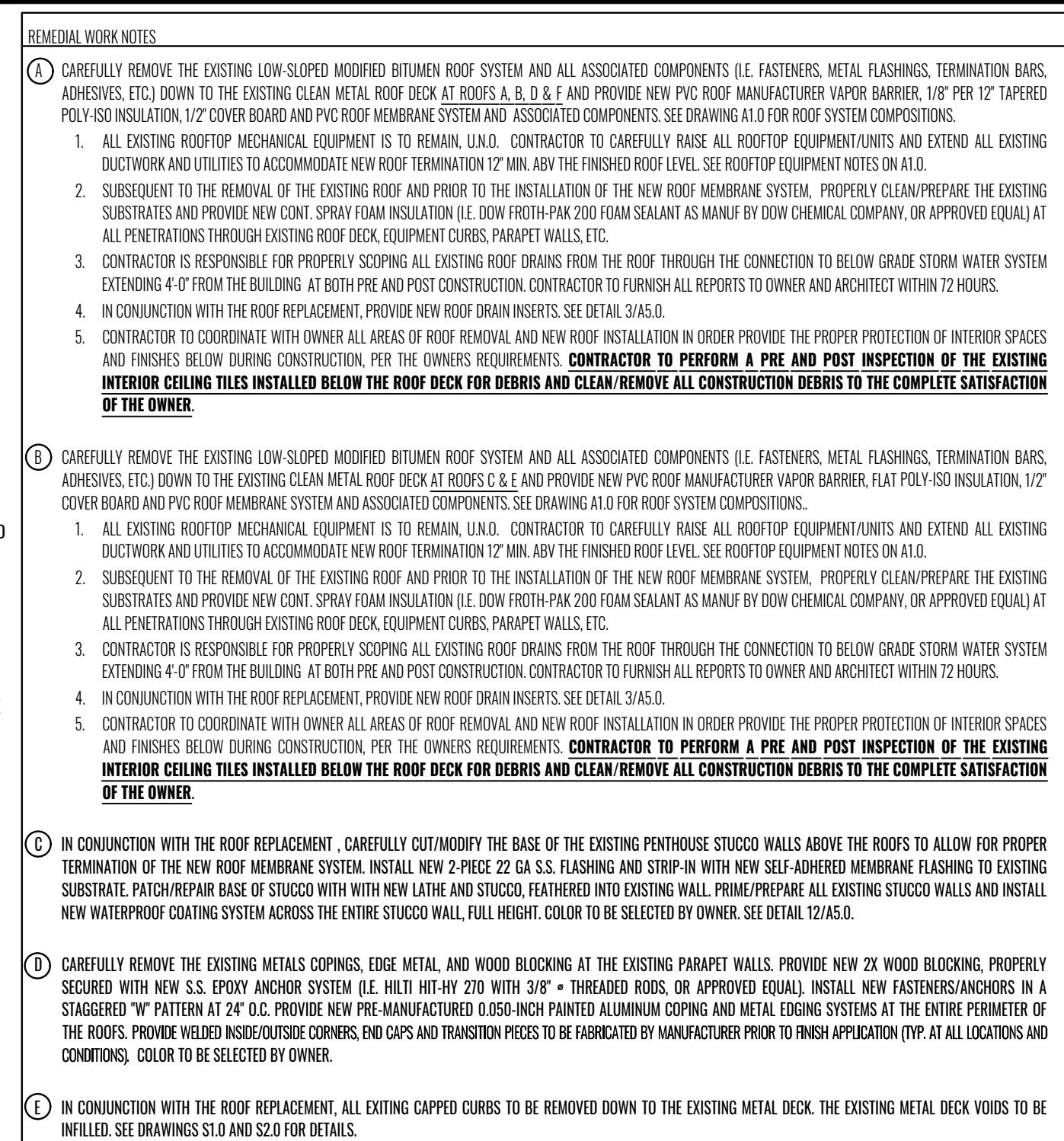
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SCALE: 3" = 1'-0"



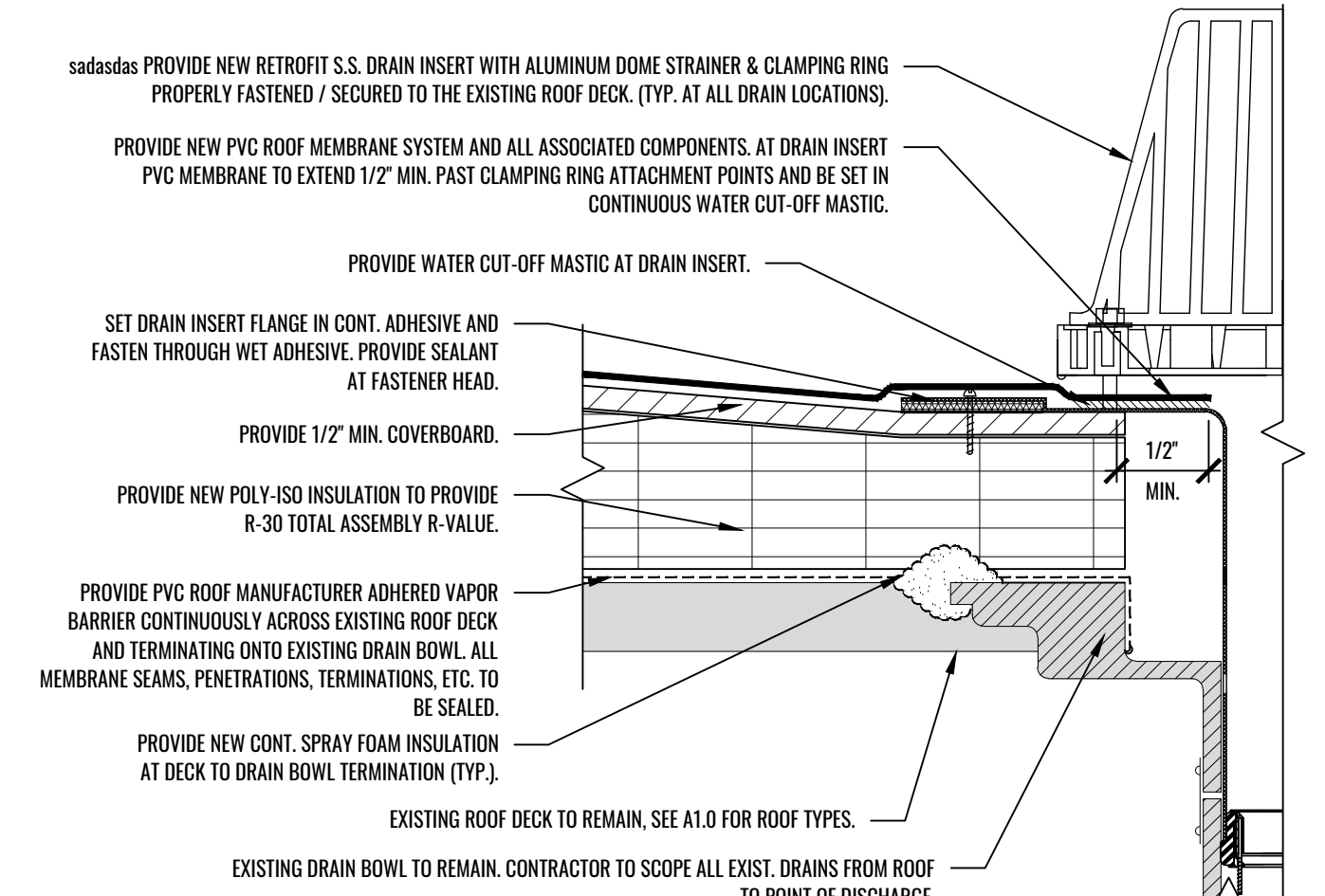
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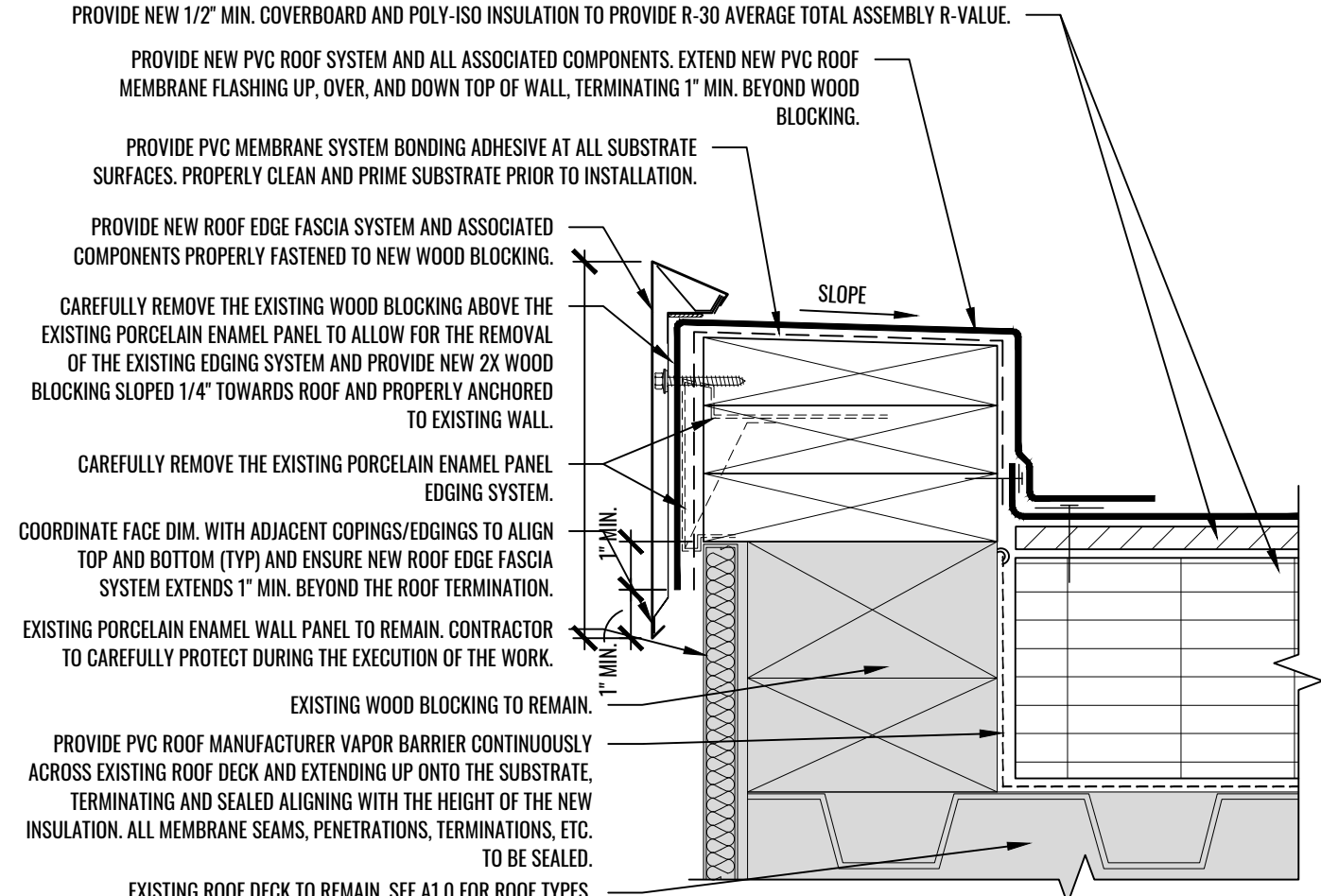
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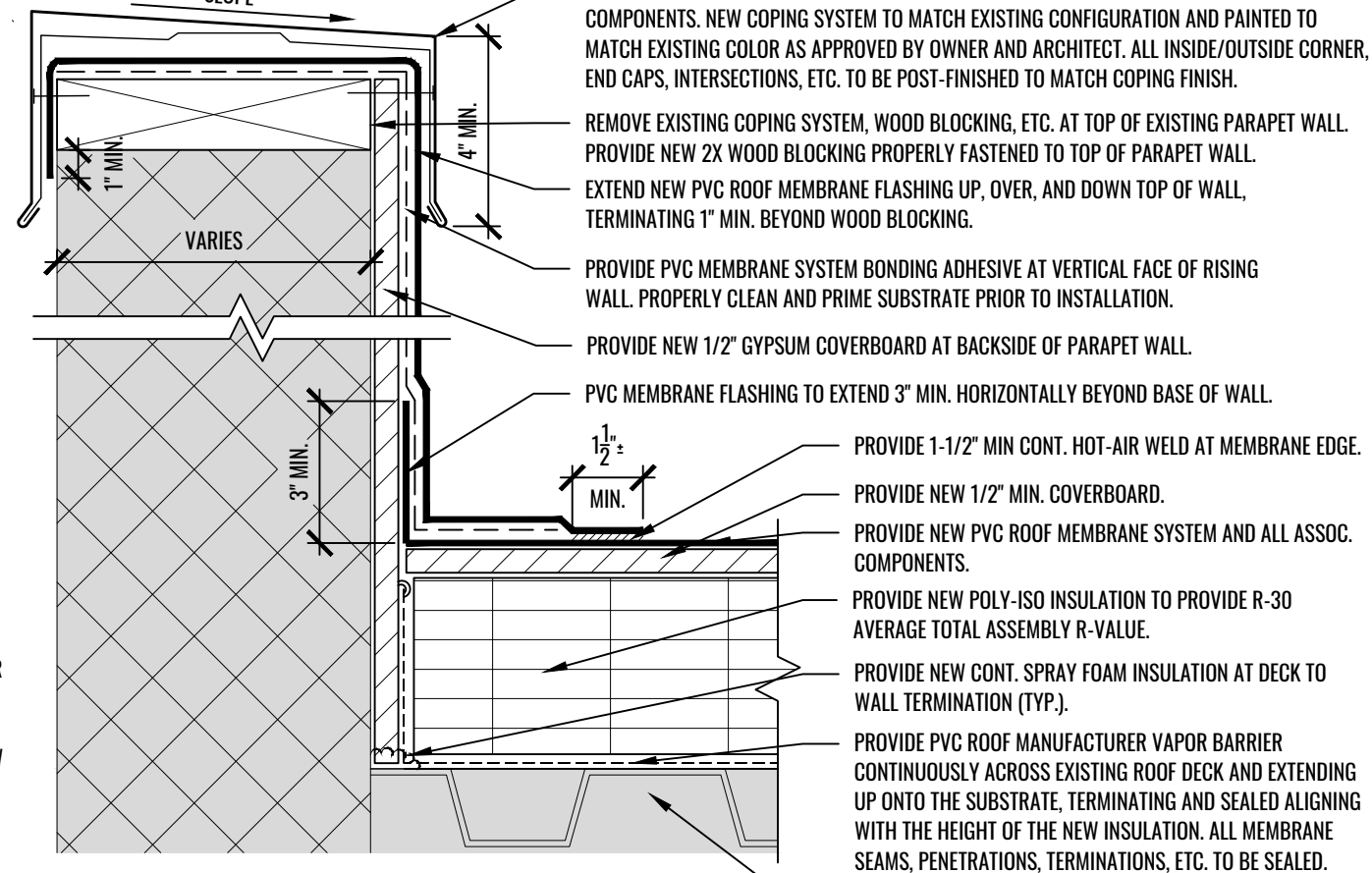
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A5.0
SCALE: 3" = 1'-0"



1
A5.0
SCALE: 3" = 1'-0"



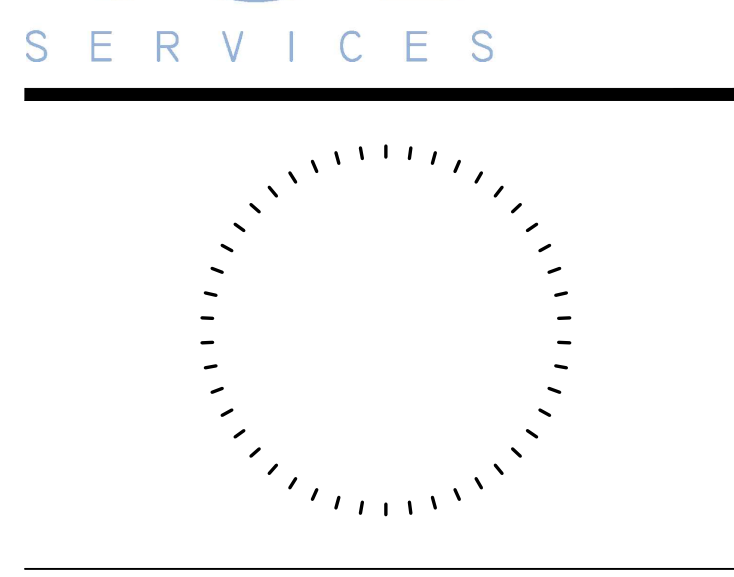
14
A5.0
SCALE: N.T.S.



13
A5.0
SCALE: 3" = 1'-0"



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2ND FLOOR
COLLINGSWOOD, NJ 08038
P: 856.547.6250
F: 856.547.6254



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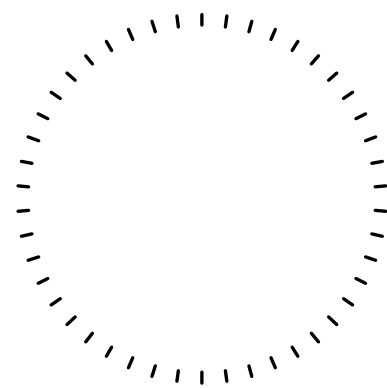
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2ND FLOOR
COLLINGSWOOD, NJ 08108
P: 856.541.8255
F: 856.541.8254



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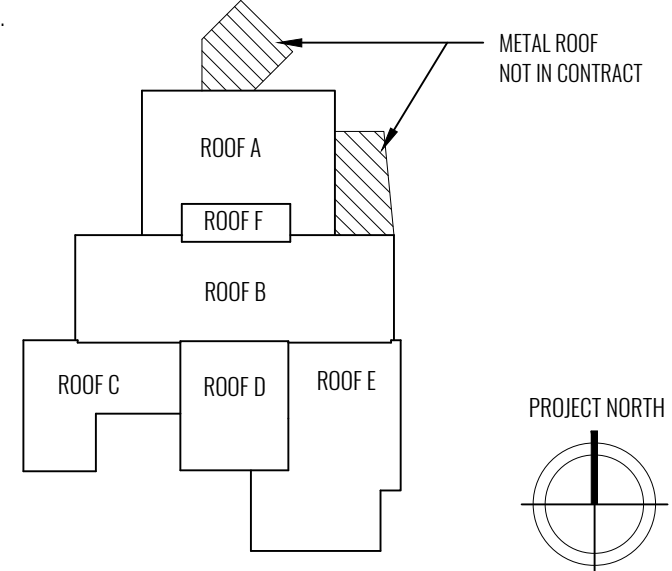
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KEY PLAN

N.T.S.



PROJECT DRAWING LIST

Drawing No.	Drawing Title	Revision No.	Revision Date
CS	COVER SHEET & GENERAL NOTES	X	XX/XX/XX
A1.0	ROOF PLAN & NOTES		
A1.1	WIND UPLIFT ROOF PLAN		
A5.0	DETAILS		
A5.1	DETAILS		
S1.0	PARTIAL STRUCTURAL ROOF PLAN		
S2.0	STRUCTURAL DETAILS		

Issue Date

01 OCTOBER 2025

Drawing Issue

CONSTRUCTION ISSUE

Issue Project No.

2502006

Client Project No.

Drawn By

BR

Checked By

LW

AS NOTED

Project Information



WINANS HALL

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GLASSBORO, NJ 08028

ROOF REPLACEMENT

Drawing Title

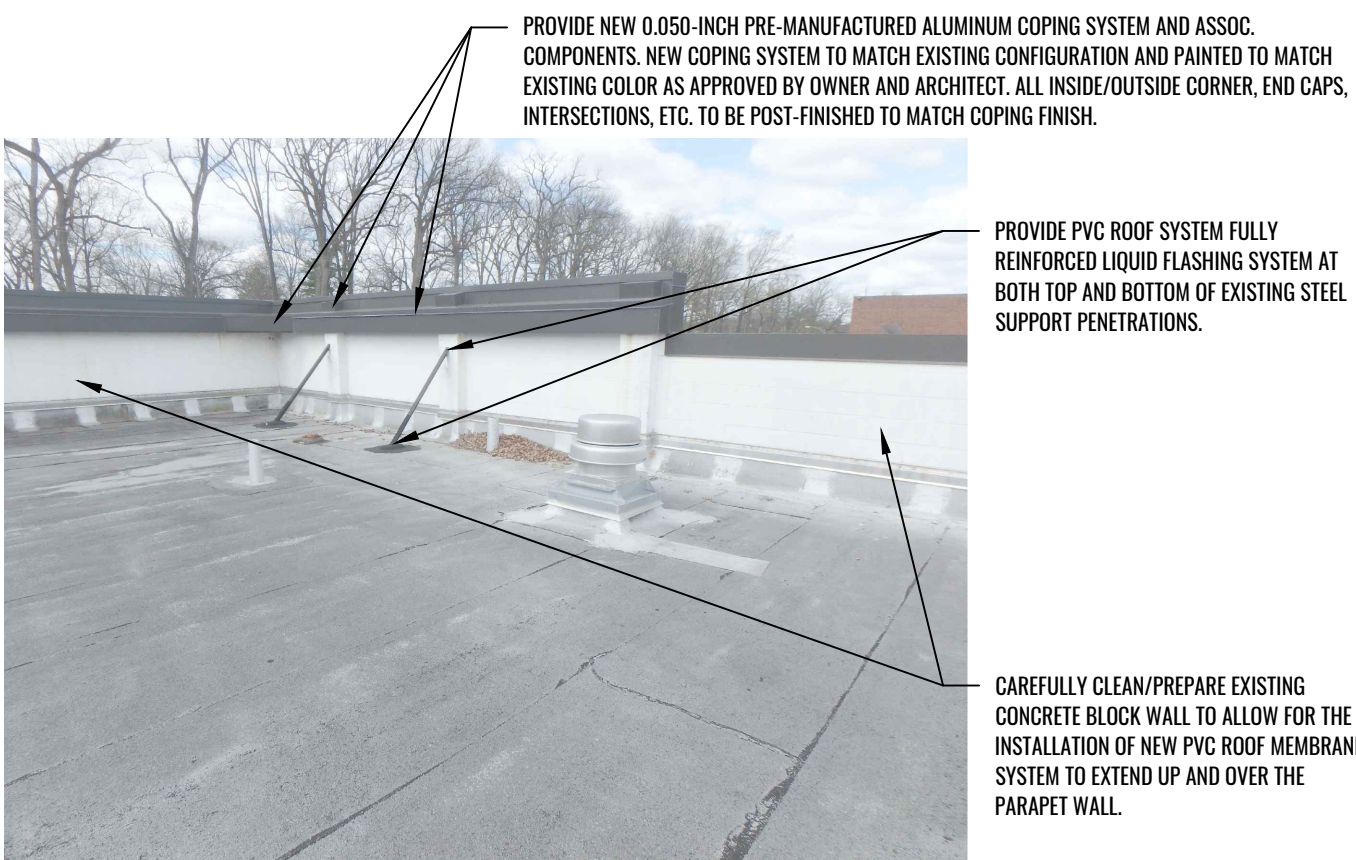
DETAILS

Drawing No.

A5.1

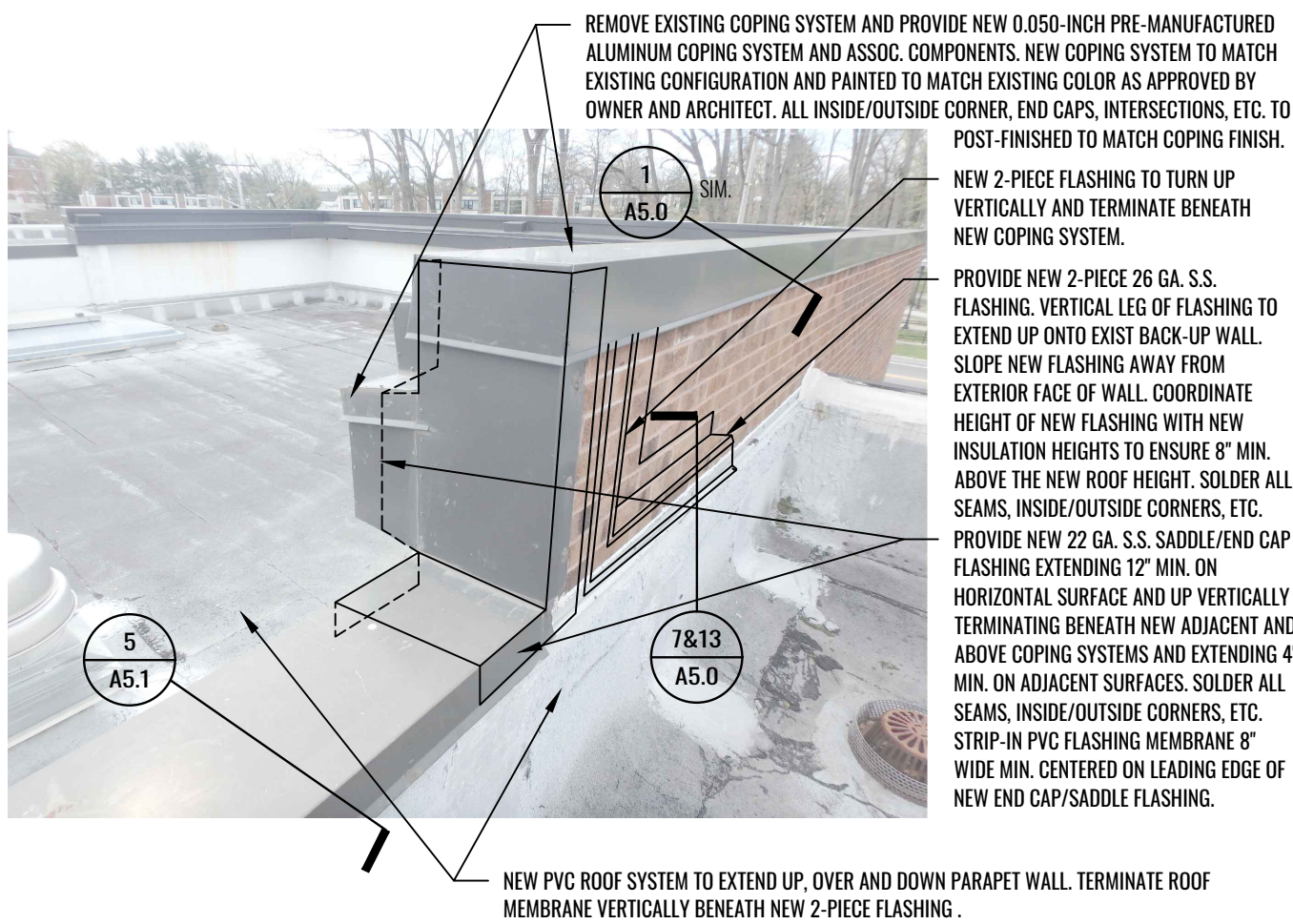
REMOVAL WORK NOTES

- CAREFULLY REMOVE THE EXISTING LOW-SLOPED MODIFIED BITUMEN ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS (I.E. FASTENERS, METAL FLASHINGS, TERMINATION BARS, ADHESIVES, ETC.) DOWN TO THE EXISTING CLEAN METAL ROOF DECK AT ROOFS A, B, D, E, AND PROVIDE NEW PVC ROOF MANUFACTURER VAPOR BARRIER, 1/2" PER 12" TAPERED POLY-ISO INSULATION, 1/2" COVER BOARD AND PVC ROOF MEMBRANE SYSTEM AND ASSOCIATED COMPONENTS. SEE DRAWING A1.0 FOR ROOF SYSTEM COMPOSITIONS.
 - ALL EXISTING ROOFTOP MECHANICAL EQUIPMENT IS TO REMAIN, U.N.D. CONTRACTOR TO CAREFULLY RAISE ALL ROOFTOP EQUIPMENT/UNITS AND EXTEND ALL EXISTING DUCTWORK AND UTILITIES TO ACCOMMODATE NEW ROOF TERMINATION 12" MIN. AND THE PROPOSED ROOF LEVEL. SEE ROOFTOP EQUIPMENT NOTES ON A1.0.
 - SUBSEQUENT TO THE REMOVAL OF THE EXISTING ROOF AND PRIOR TO THE INSTALLATION OF THE NEW ROOF MEMBRANE SYSTEM, PROPERLY CLEAN/PREPARE THE EXISTING SUBSTRATES AND PROVIDE NEW CONT. SPRAY FOAM INSULATION (I.E. DOW FORTH-PAK 200 FOAM SEALANT AS MANUF BY DOW CHEMICAL COMPANY, OR APPROVED EQUAL) AT ALL PENETRATIONS THROUGH EXISTING ROOF DECK, EQUIPMENT CURBS, PARAPET WALLS, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR PROPERLY SCOPING ALL EXISTING ROOF DRAINS FROM THE ROOF THROUGH THE CONNECTION TO BELOW GRADE STORM WATER SYSTEM EXTENDING 4'-0" FROM THE BUILDING AT BOTH PRE AND POST CONSTRUCTION. CONTRACTOR TO FURNISH ALL REPORTS TO OWNER AND ARCHITECT WITHIN 72 HOURS.
 - IN CONJUNCTION WITH THE ROOF REPLACEMENT, PROVIDE NEW ROOF DRAIN INSERTS. SEE DETAIL 3/AS.0.
 - CONTRACTOR TO COORDINATE WITH OWNER ALL AREAS OF ROOF REMOVAL AND NEW ROOF INSTALLATION IN ORDER PROVIDE THE PROPER PROTECTION OF INTERIOR SPACES AND FINISHES BELOW DURING CONSTRUCTION, PER THE OWNERS REQUIREMENTS. **CONTRACTOR TO PERFORM A PRE AND POST INSPECTION OF THE EXISTING INTERIOR CEILING TILES INSTALLED BELOW THE ROOF DECK FOR DEBRIS AND CLEAN REMOVE ALL CONSTRUCTION DEBRIS TO THE COMPLETE SATISFACTION OF THE OWNER.**
- CAREFULLY REMOVE THE EXISTING LOW-SLOPED MODIFIED BITUMEN ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS (I.E. FASTENERS, METAL FLASHINGS, TERMINATION BARS, ADHESIVES, ETC.) DOWN TO THE EXISTING CLEAN METAL ROOF DECK AT ROOFS C, E, AND PROVIDE NEW PVC ROOF MANUFACTURER VAPOR BARRIER, FLAT POLY-ISO INSULATION, 1/2" COVER BOARD AND PVC ROOF MEMBRANE SYSTEM AND ASSOCIATED COMPONENTS. SEE DRAWING A1.0 FOR ROOF SYSTEM COMPOSITIONS.
 - ALL EXISTING ROOFTOP MECHANICAL EQUIPMENT IS TO REMAIN, U.N.D. CONTRACTOR TO CAREFULLY RAISE ALL ROOFTOP EQUIPMENT/UNITS AND EXTEND ALL EXISTING DUCTWORK AND UTILITIES TO ACCOMMODATE NEW ROOF TERMINATION 12" MIN. AND THE FINISHED ROOF LEVEL. SEE ROOFTOP EQUIPMENT NOTES ON A1.0.
 - SUBSEQUENT TO THE REMOVAL OF THE EXISTING ROOF AND PRIOR TO THE INSTALLATION OF THE NEW ROOF MEMBRANE SYSTEM, PROPERLY CLEAN/PREPARE THE EXISTING SUBSTRATES AND PROVIDE NEW CONT. SPRAY FOAM INSULATION (I.E. DOW FORTH-PAK 200 FOAM SEALANT AS MANUF BY DOW CHEMICAL COMPANY, OR APPROVED EQUAL) AT ALL PENETRATIONS THROUGH EXISTING ROOF DECK, EQUIPMENT CURBS, PARAPET WALLS, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR PROPERLY SCOPING ALL EXISTING ROOF DRAINS FROM THE ROOF THROUGH THE CONNECTION TO BELOW GRADE STORM WATER SYSTEM EXTENDING 4'-0" FROM THE BUILDING AT BOTH PRE AND POST CONSTRUCTION. CONTRACTOR TO FURNISH ALL REPORTS TO OWNER AND ARCHITECT WITHIN 72 HOURS.
 - IN CONJUNCTION WITH THE ROOF REPLACEMENT, PROVIDE NEW ROOF DRAIN INSERTS. SEE DETAIL 3/AS.0.
 - CONTRACTOR TO COORDINATE WITH OWNER ALL AREAS OF ROOF REMOVAL AND NEW ROOF INSTALLATION IN ORDER PROVIDE THE PROPER PROTECTION OF INTERIOR SPACES AND FINISHES BELOW DURING CONSTRUCTION, PER THE OWNERS REQUIREMENTS. **CONTRACTOR TO PERFORM A PRE AND POST INSPECTION OF THE EXISTING INTERIOR CEILING TILES INSTALLED BELOW THE ROOF DECK FOR DEBRIS AND CLEAN REMOVE ALL CONSTRUCTION DEBRIS TO THE COMPLETE SATISFACTION OF THE OWNER.**
- IN CONJUNCTION WITH THE ROOF REPLACEMENT, CAREFULLY CUT/MODIFY THE BASE OF THE EXISTING PENTHOUSE STUCCO WALLS ABOVE THE ROOFS TO ALLOW FOR PROPER TERMINATION OF THE NEW ROOF MEMBRANE SYSTEM. INSTALL NEW 2-PIECE 22 GA. S.S. FLASHING AND STRIP-IN WITH NEW SELF-ADHERED MEMBRANE FLASHING TO EXISTING SUBSTRATE. PATCH/REPAIR BASE OF STUCCO WITH NEW LATH AND STUCCO. FEATHERED INTO EXISTING WALL. PRIME/PREPARE ALL EXISTING STUCCO WALLS AND INSTALL NEW WATERPROOF COATING SYSTEM ACROSS THE ENTIRE STUCCO WALL, FULL HEIGHT. COLOR TO BE SELECTED BY OWNER. SEE DETAIL 12/AS.0.
- CAREFULLY REMOVE THE EXISTING METALS COPINGS, EDGE METAL AND WOOD BLOCKING AT THE EXISTING PARAPET WALLS. PROVIDE NEW 2X WOOD BLOCKING, PROPERLY SECURED WITH NEW S.S. ANCHOR SYSTEM (I.E. BULTI W/ 2" W/ 3/8" + INBOARD RODS, OR APPROX. EQUAL). INSTALL NEW FASTENERS/ANCHORS W/ A STAGGERED "W" PATTERN AT 24" O.C. PROVIDE NEW PRE-MANUFACTURED 0.050-INCH PAINTED ALUMINUM COPING AND METAL EDGING SYSTEMS AT THE ENTIRE PERIMETER OF THE ROOFS. PROVIDE WELDED INSIDE/OUTSIDE CORNERS, END CAPS AND TRANSITION PEECS TO BE FABRICATED BY MANUFACTURER PRIOR TO FINISH APPLICATION (TYP. AT ALL LOCATIONS AND CONDITIONS). COLOR TO BE SELECTED BY OWNER.
- IN CONJUNCTION WITH THE ROOF REPLACEMENT, ALL EXISTING CAPPED CURBS TO BE REMOVED DOWN TO THE EXISTING METAL DECK. THE EXISTING METAL DECK VOIDS TO BE INFILLED. SEE DRAWINGS S1.0 AND S2.0 FOR DETAILS.



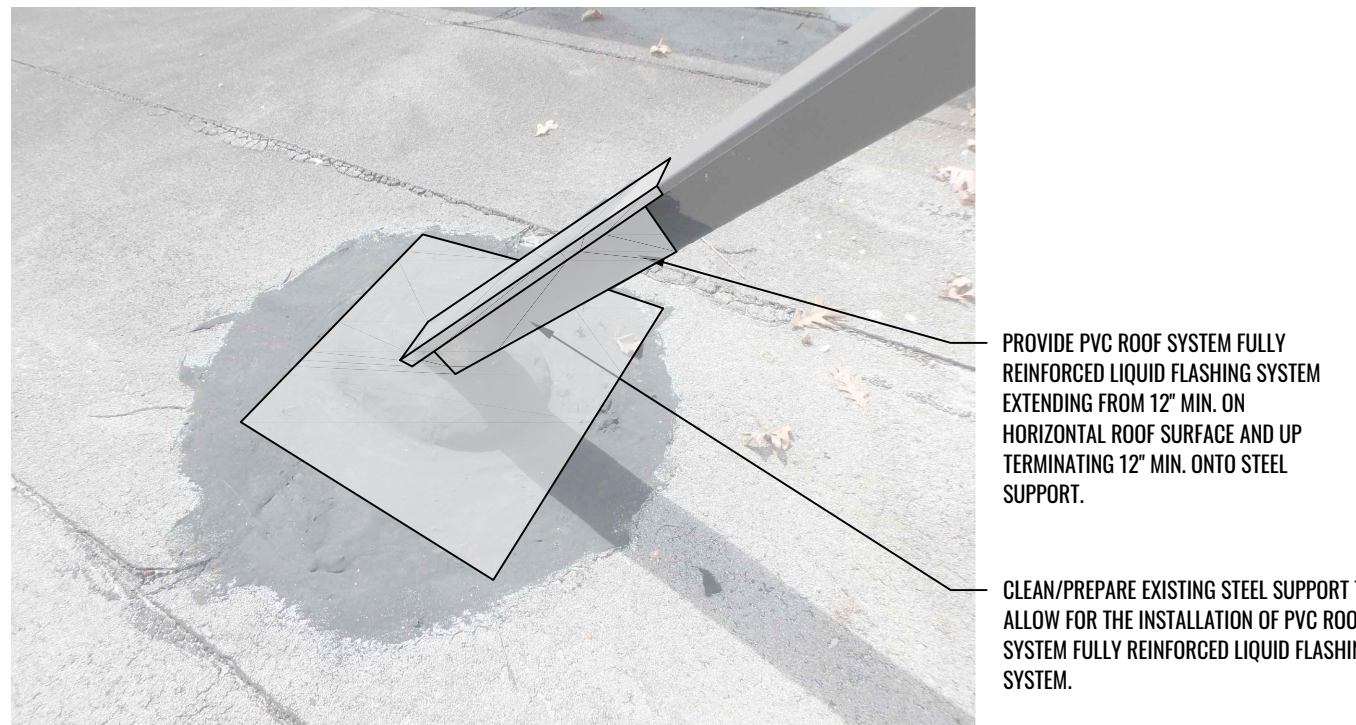
3 DETAIL AT ROOF D

SCALE: N.T.S.



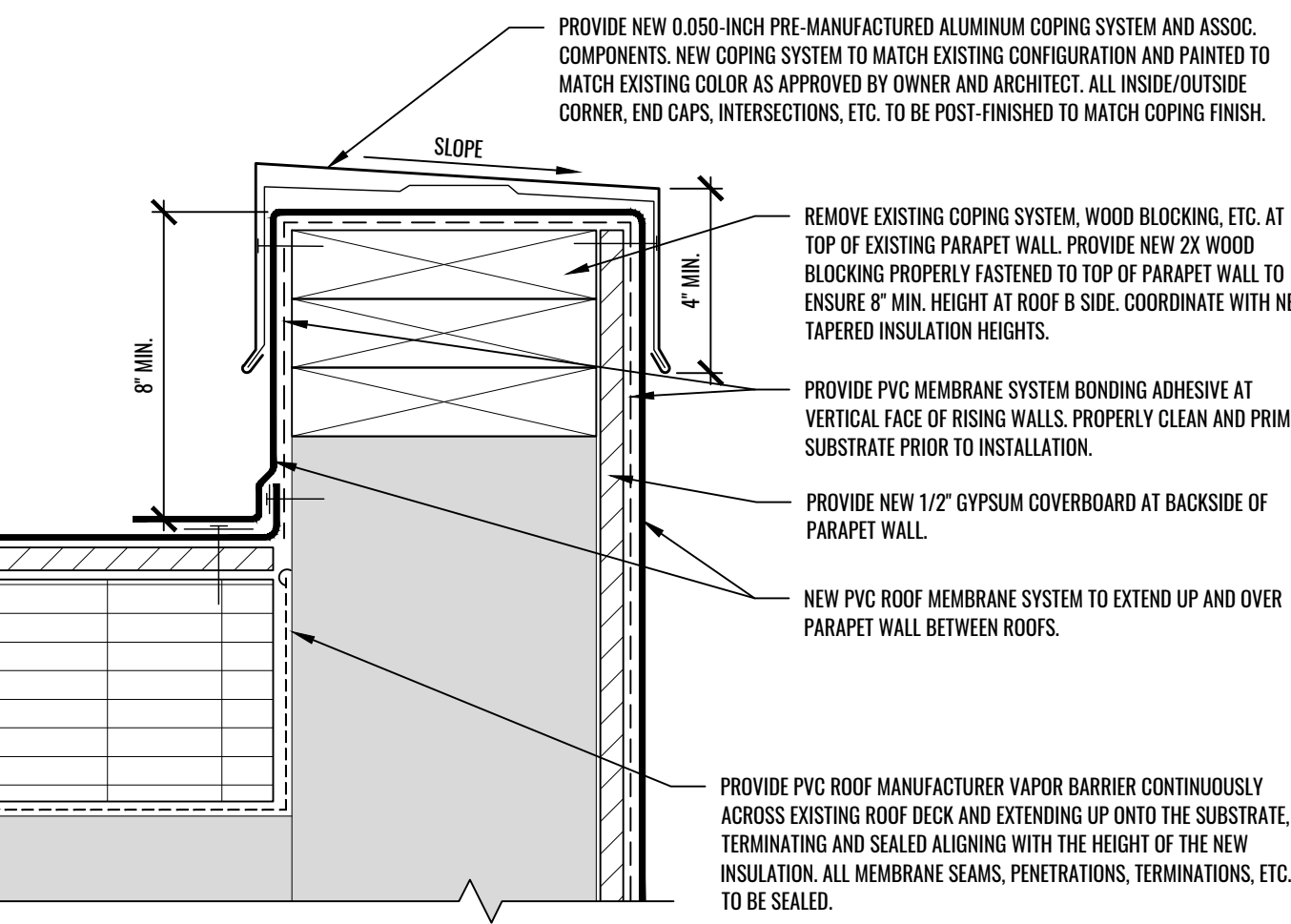
2 DETAIL AT WALL BETWEEN ROOF C & D

SCALE: N.T.S.



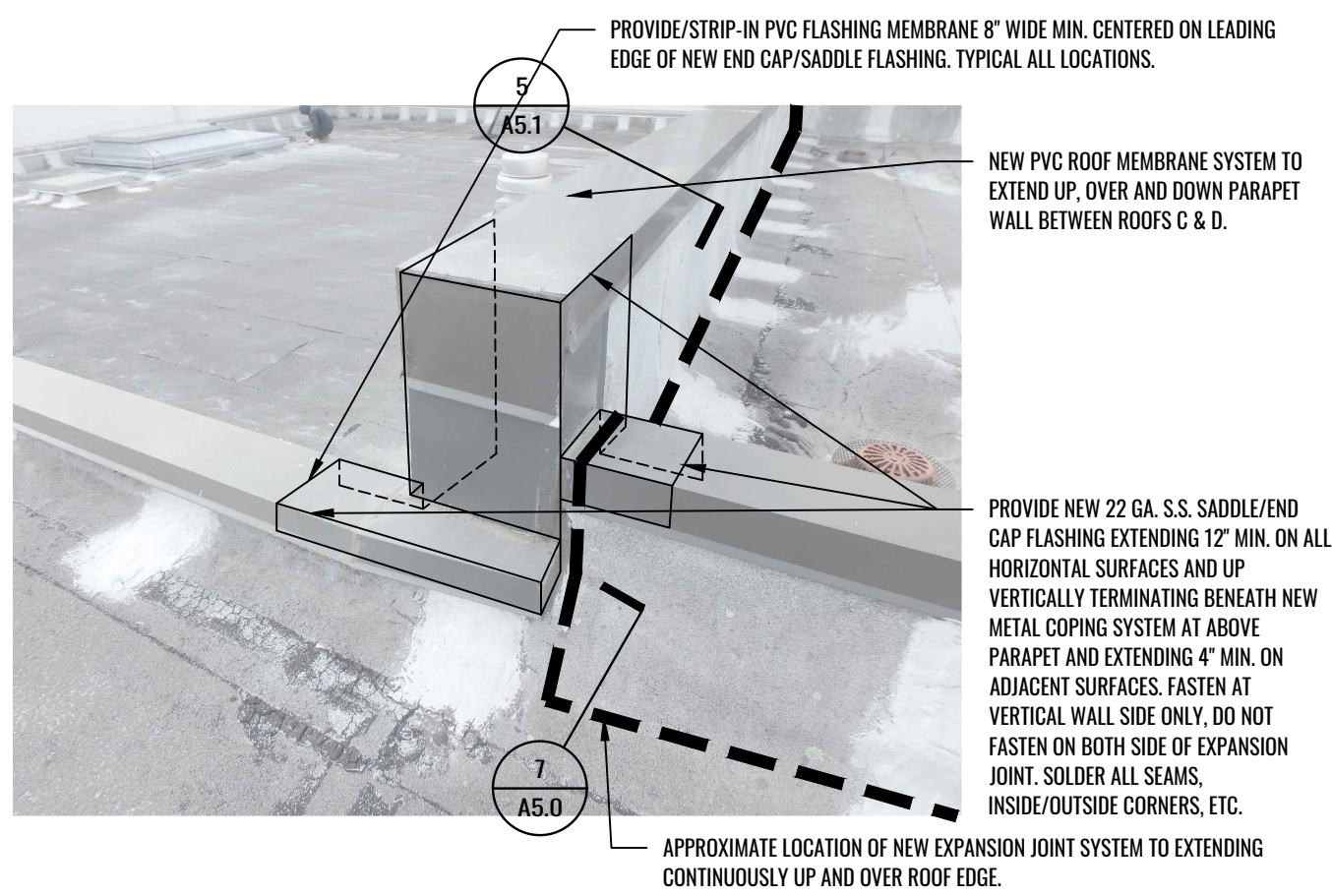
1 DETAIL AT STEEL SUPPORT PENETRATION

SCALE: N.T.S.



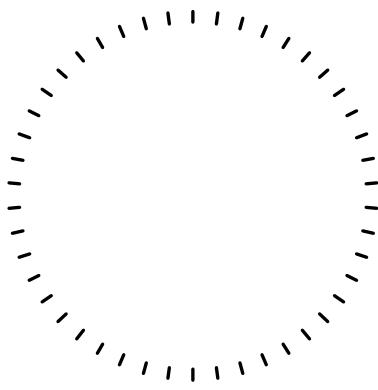
5 DETAIL AT PARAPET WALLS WITH ROOFING UP AND OVER

SCALE: 3" = 1'-0"



4 DETAIL AT EXPANSION JOINT

SCALE: N.T.S.



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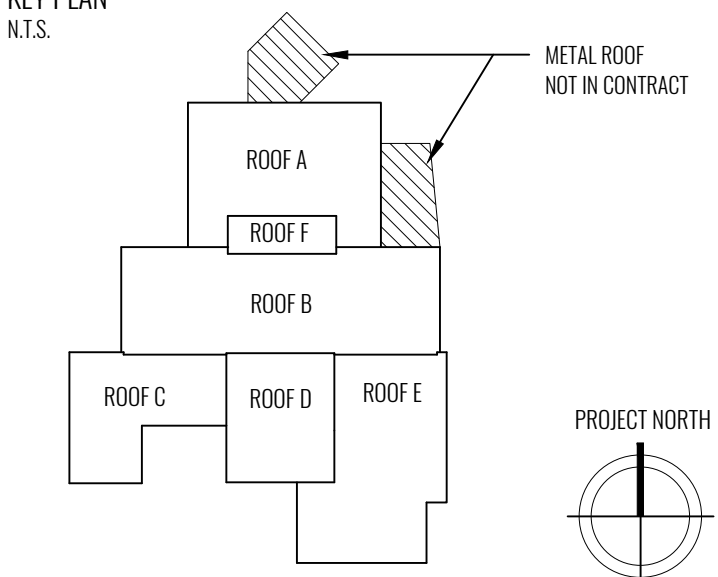
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KEY PLAN

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A1.1	WIND UPLIFT ROOF PLAN		
A5.0	DETAILS		
A5.1	DETAILS		
S1.0	PARTIAL STRUCTURAL ROOF PLAN		
S2.0	STRUCTURAL DETAILS		

Issue Date

01 OCTOBER 2025

The Project No.

2502006

Drawn By

BR

Drawing Issue

CONSTRUCTION ISSUE

Client Project No.

Checked By

LW

AS NOTED

Project Information

Rowan University

WINANS HALL

201 MULLICA HALL RD.
GLASSBORO, NJ 08028

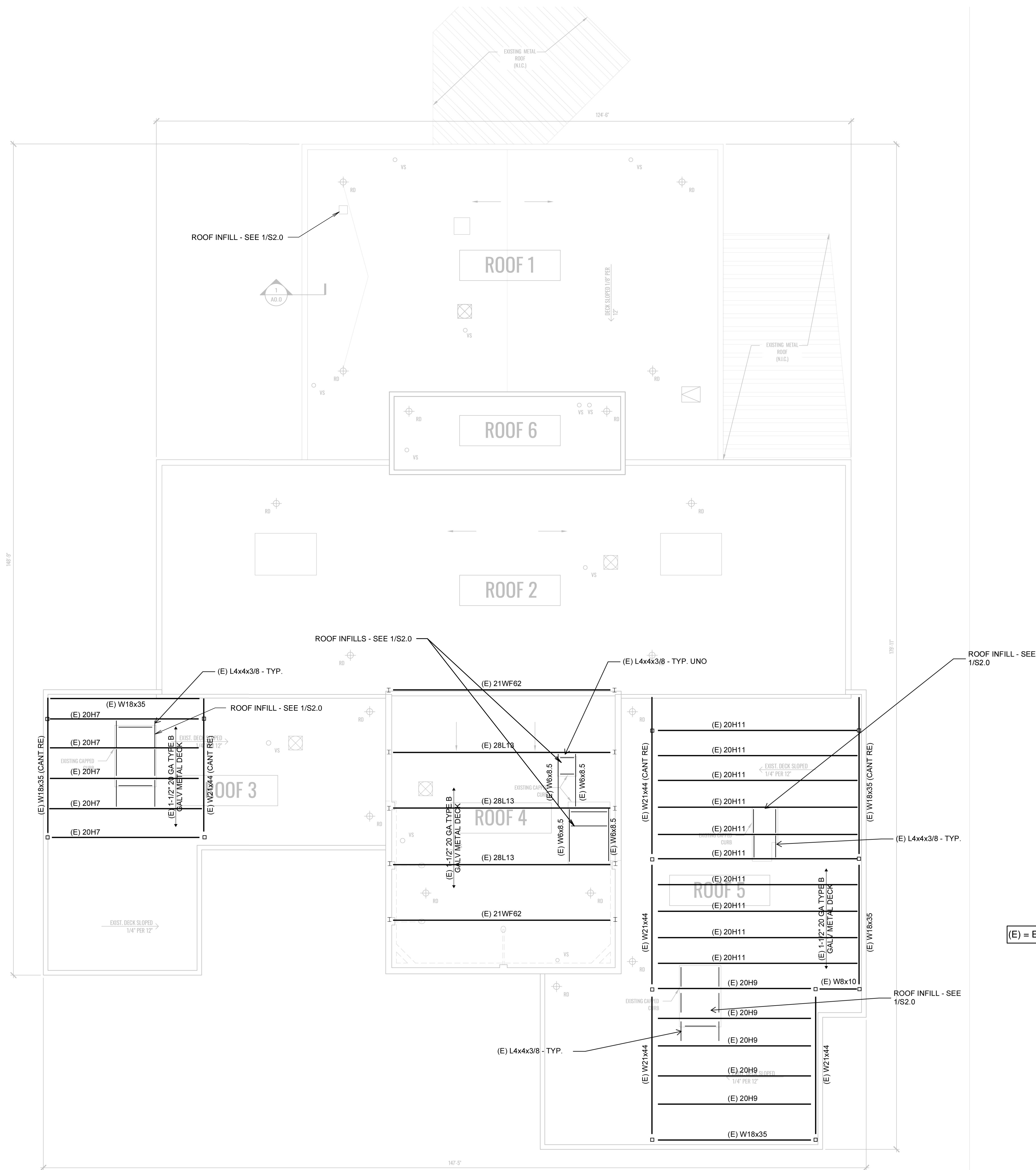
ROOF REPLACEMENT

Drawing Title

PARTIAL STRUCTURAL
ROOF PLAN

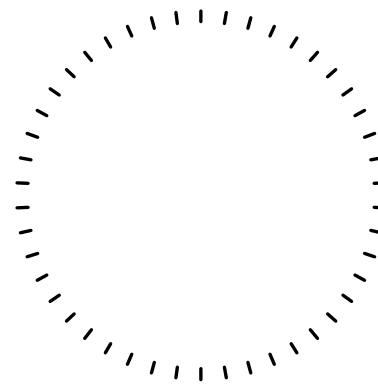
Drawing No.

S1.0



(E) = EXISTING STRUCTURAL COMPONENTS

NOTE: ALL EXISTING CONDITIONS
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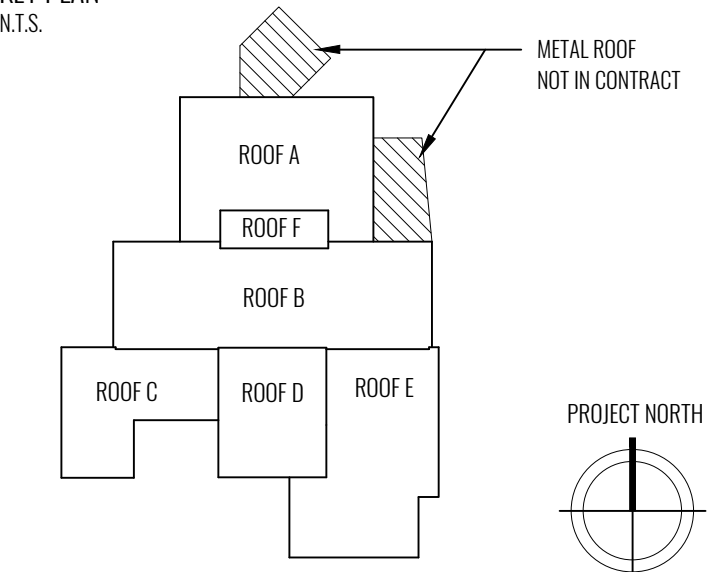
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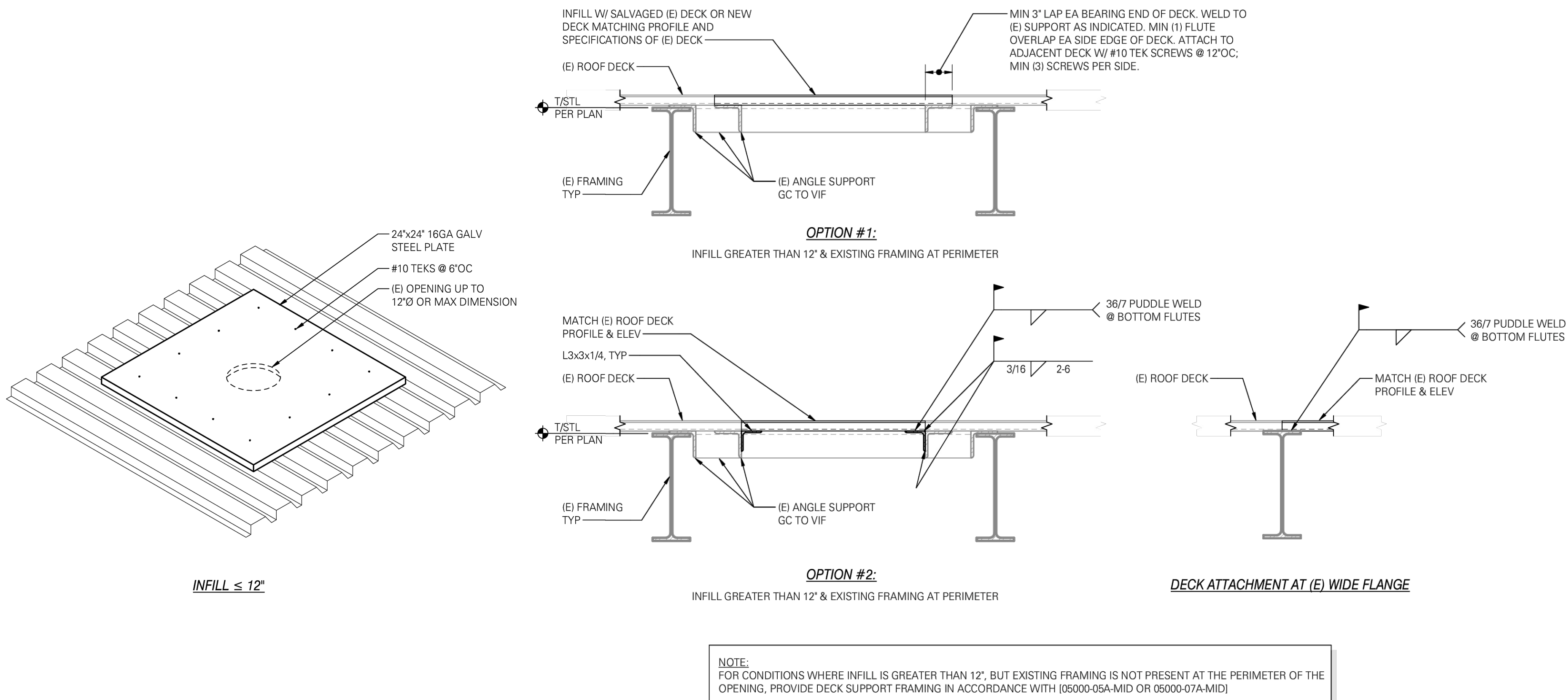
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ROOF REPLACEMENT

Drawing Title

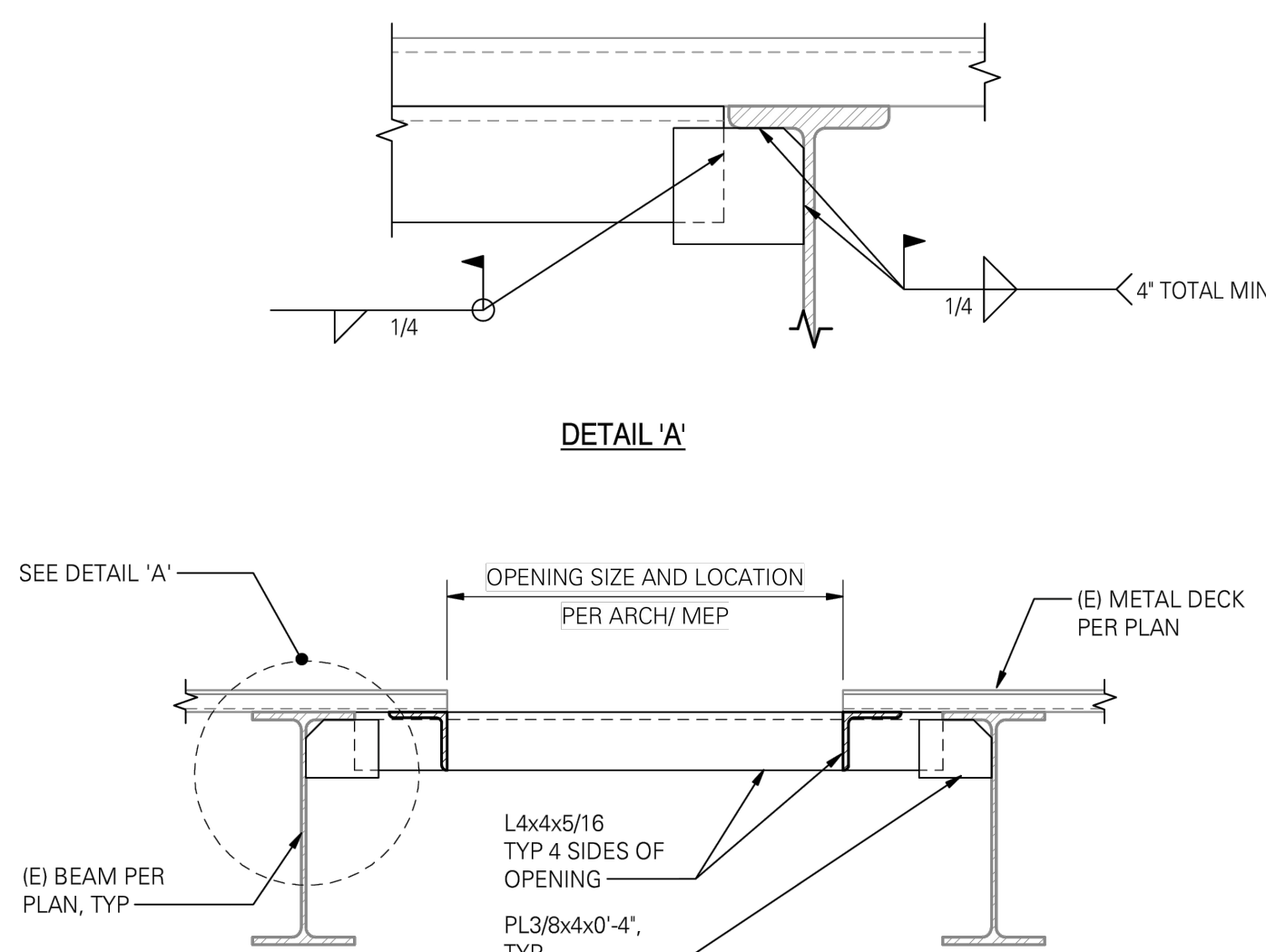
STRUCTURAL DETAILS

Drawing No.

S2.0**1 TYPICAL EXISTING ROOF DECK OPENING INFILL DETAIL**

SCALE: 1" = 1'-0"

(05000-04-MID)



NOTE:
1. PROVIDE AT PERIMETER OF ALL ROOFTOP MECHANICAL UNITS AND ROOF OPENINGS LARGER THAN 12' SQ. AS REQUIRED, PROVIDE L3X3X5/16 AT ROOF SUMPS.

PROVIDE L3X3X5/16 AT ROOF SUMPS

(05000-05A-MID)

TYPICAL ROOF CURB SUPPORT DETAIL AT EXISTING WIDE FLANGE BEAMS

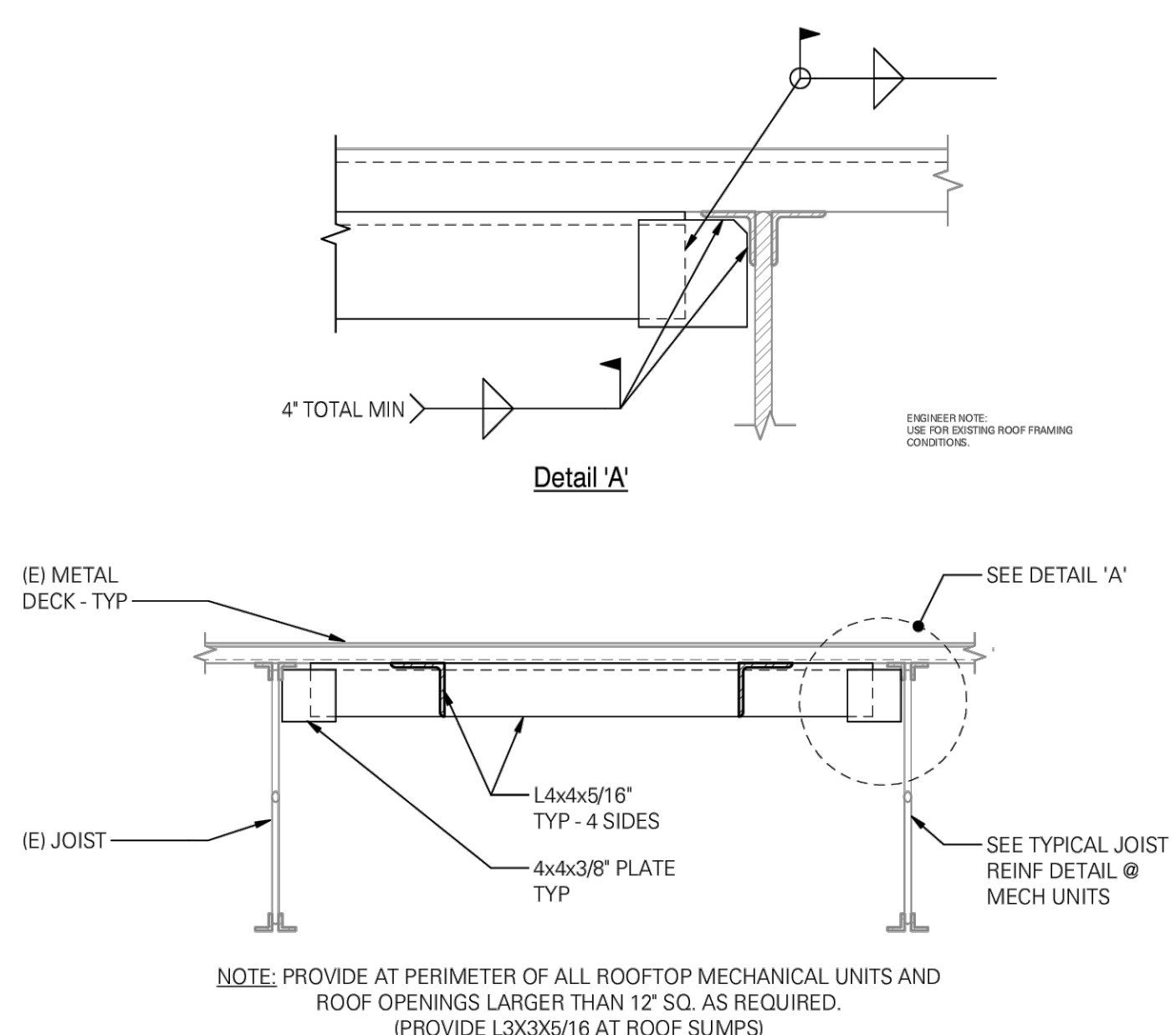
SCALE: 1" = 1'-0"

(05000-05A-MID)

TYPICAL ROOF CURB SUPPORT DETAIL AT EXISTING JOISTS

SCALE: 1" = 1'-0"

(05000-07A-MID)

**(E) = EXISTING STRUCTURAL COMPONENTS**

NOTE: ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. MEANS AND METHODS BY CONTRACTOR.