



## WINANS HALL ROOF REPLACEMENT

CONSTRUCTION ISSUE - 01 OCTOBER 2025



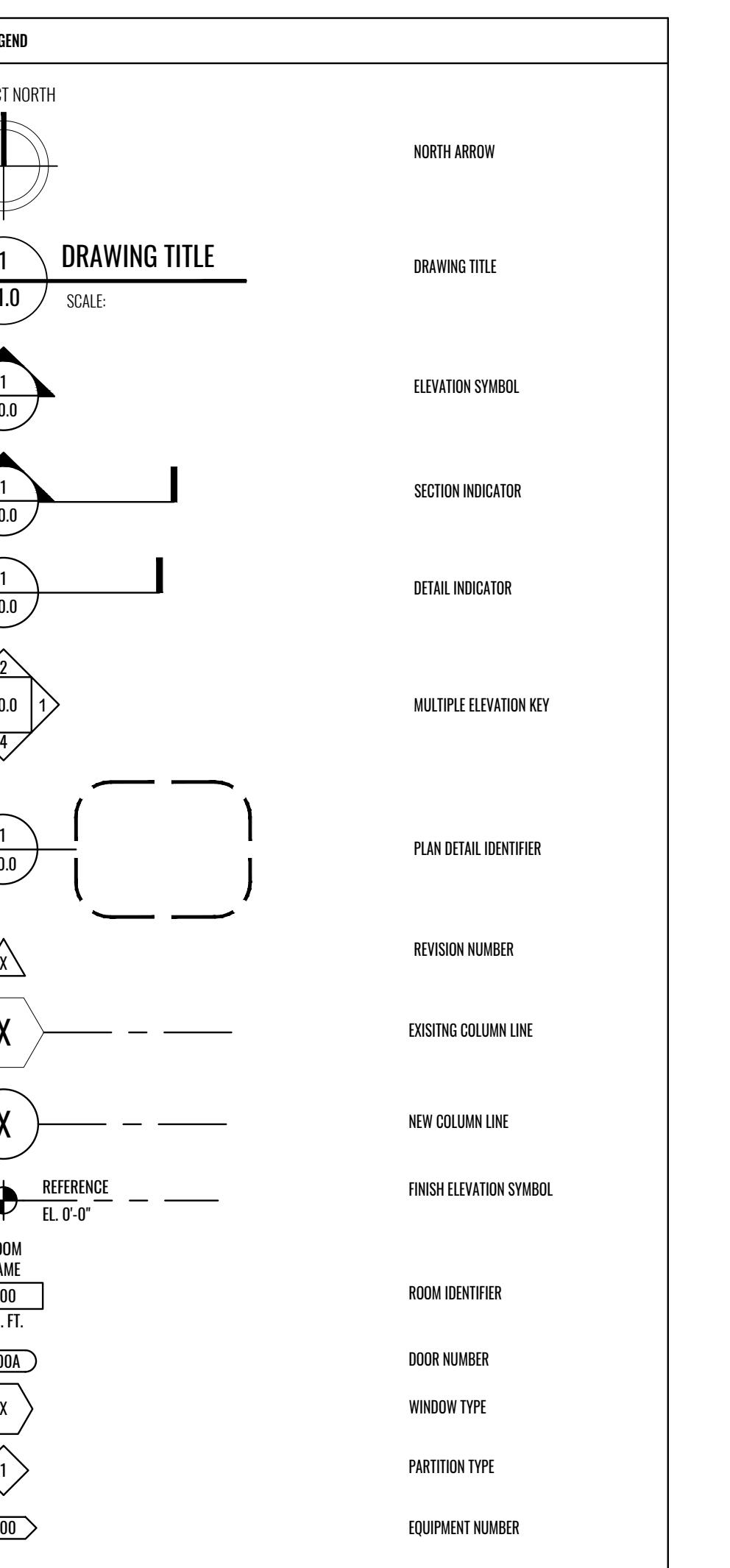
ARCHITECT:

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GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING, INSTALLING AND MAINTAINING ALL FENCING AND BARRIERS WITH DIRECTIONAL SIGNAGE.

PROJECT PROTECTION NOTE:  
ALL TREES, SHRUBS AND OTHER PLANTINGS OUTSIDE OF POSSIBLE STAGING LAYDOWN AREAS TO BE PROPERLY PROTECTED DURING CONSTRUCTION OPERATION INCLUDING, BUT NOT LIMITED TO, FENCING PERIMETERS EQUAL TO THE EXTENT OF THE CANOPY. CONTRACTOR TO REVIEW ALL ACCESS AND SITE STAGING IMPACT WITH ROWAN PRIOR TO START OF WORK IN FIELD. ANY TREES, SHRUBS OR OTHER PLANTINGS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS ARE TO BE REPLACED WITH COMPARABLE MATURE TREES, SHRUBS AND PLANTINGS TO THE COMPLETE SATISFACTION OF ROWAN.



**REMEDIAL WORK NOTES**

① CAREFULLY REMOVE THE EXISTING LOW-SLOPED MODIFIED BITUMEN ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS (I.E. FASTENERS, METAL FLASHINGS, TERMINATION BARS, ADHESIVES, ETC.) DOWN TO THE EXISTING CLEAN METAL DECK AT ROOFS A, B, D, & E AND PROVIDE NEW PVC ROOF MANUFACTURER VAPOR BARRIER, FLAT PVC ISO INSULATION, 1/2" COVER BOARD AND PVC ROOFING SYSTEM. SEE DRAWING A-01 FOR DETAILS. ALL ROOFING SYSTEMS ARE TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

1. ALL EXISTING ROOF MECHANICAL EQUIPMENT IS TO REMAIN. OWNER CONTRACTOR IS TO CAREFULLY RAISE ALL ROOF EQUIPMENT UNITS AND EXTEND ALL EXISTING DUCTWORK AND UTILITIES TO ACCOMMODATE NEW ROOF TERMINATION 12' MIN. ABOVE THE FINISHED ROOF LEVEL. SEE ROOF EQUIPMENT NOTES (N.A.1).

2. SUBSEQUENT TO THE REMOVAL OF THE EXISTING ROOF AND PRIOR TO THE INSTALLATION OF THE NEW ROOF MEMBRANE SYSTEM, PROPERLY CLEAN/PREPARE THE EXISTING SUBSTRATE AND PROVIDE NEW CNT SPRAY FOAM INSULATION (E.G. DOW FROTH-PAK 200 FOAM SEALANT AS MANUFACTURED BY DOW CHEMICAL COMPANY, OR APPROVED EQUAL) AT ALL PENETRATION THROUGH EXISTING ROOF DECK, EQUIPMENT CLOsets, PARAPET WALLS, ETC.

3. CONTRACTOR IS RESPONSIBLE FOR PROPERLY CLEAN/PREPARE THE EXISTING ROOF DECK, EQUIPMENT CLOsets, PARAPET WALLS, ETC. THROUGH THE CONNECTION TO BELOW GRADE STORM WATER SYSTEM EXTENSION. SEE DRAWING A-01 FOR DETAILS. A STORM DRAIN CONTRACTOR IS TO BE PROVIDED BY OWNER AND PROVIDED BY CONTRACTOR TO OWNER. CONTRACTOR TO TURN-IN REPORTS TO OWNER AND ARCHITECT WITHIN 72 HOURS.

4. IN CONJUNCTION WITH THE ROOF REPLACEMENT, PROVIDE NEW ROOF DRAIN INSERTS. SEE DETAIL A-04.

5. CONTRACTOR TO COORDINATE WITH OWNERS ALL AREAS OF ROOF REMOVAL AND NEW ROOF INSTALLATION IN ORDER TO PROVE THE PROPER PROTECTION OF INTERIOR SPACES AND FINISHES BELOW DURING CONSTRUCTION. PER THE OWNERS REQUIREMENTS, CONTRACTOR TO PERFORM A PRE AND POST INSPECTION OF THE DISTINGUISHED ROOFING TILES INSTALLED BELOW THE ROOF DECK FOR DEBRIS AND CLEAN/REMOVE ALL CONSTRUCTION DEBRIS TO THE COMPLETE SATISFACTION OF THE OWNER.

② CAREFULLY REMOVE THE EXISTING LOW-SLOPED MODIFIED BITUMEN ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS (I.E. FASTENERS, METAL FLASHINGS, TERMINATION BARS, ADHESIVES, ETC.) DOWN TO THE EXISTING CLEAN METAL DECK AT ROOFS C & E AND PROVIDE NEW PVC ROOF MANUFACTURER VAPOR BARRIER, FLAT PVC ISO INSULATION, 1/2" COVER BOARD AND PVC ROOFING SYSTEM. SEE DRAWING A-01 FOR DETAILS. ALL ROOFING SYSTEMS ARE TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

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2. SUBSEQUENT TO THE REMOVAL OF THE EXISTING ROOF AND PRIOR TO THE INSTALLATION OF THE NEW ROOF MEMBRANE SYSTEM, PROPERLY CLEAN/PREPARE THE EXISTING SUBSTRATE AND PROVIDE NEW CNT SPRAY FOAM INSULATION (E.G. DOW FROTH-PAK 200 FOAM SEALANT AS MANUFACTURED BY DOW CHEMICAL COMPANY, OR APPROVED EQUAL) AT ALL PENETRATION THROUGH EXISTING ROOF DECK, EQUIPMENT CLOsets, PARAPET WALLS, ETC.

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③ IN CONJUNCTION WITH THE ROOF REPLACEMENT, CAREFULLY CUT/MODIFY THE BASE OF THE EXISTING PENTHOUSE STUCCO WALLS ABOVE THE ROOFS TO ALLOW FOR PROPER TERMINATION WITH THE NEW ROOF MEMBRANE SYSTEM. INSTALL NEW 1/2" PIECE 22 GA S.S. FLASHING STRIP IN WITH NEW SELF-ADHERED MEMBRANE FLASHING TO EXISTING SUBSTRATE/PATCH/PRIMER BASE OF STUCCO WITH NEW LATH AND STUCCO, FEATHERED INTO EXISTING WALL. PRIME/PREPARE ALL EXISTING STUCCO WALLS AND INSTALL NEW WATERPROOF COATING ACROSS THE ENTIRE STUCCO WALL. COLOR TO BE SELECTED BY OWNER. SEE DETAIL 12A-05.

④ CAREFULLY REMOVE THE EXISTING METALS COPINGS, EDGE METAL AND WOOD BLOCKING AT THE EXISTING PARAPET WALLS. PROVIDE NEW 2X WOOD BLOCKING, PROPERLY SECURED WITH NEW 3/8" STAINLESS STEEL ANCHOR SYSTEM (I.E. MULTI-HI-TECH 200 WITH 3/8" X THREADED RODS, OR APPROVED EQUAL). INSTALL NEW FASTENERS/ANCHORS IN A STAGED "W" PATTERN AT 24" O.C. PROVIDE NEW PRE-MANUFACTURED 0.050-INCH PAINTED ALUMINUM COPING AND METAL EDGING SYSTEMS AT THE ENTIRE PERIMETER OF THE ROOFS. PROVIDE WELDED INSIDE/OUTSIDE CORNERS, GAPS AND TRANSITION PIECES TO BE FABRICATED BY MANUFACTURER PRIOR TO FINISH APPLICATION (TYP. AT ALL LOCATIONS AND CONDITIONS). COLOR TO BE SELECTED BY OWNER.

⑤ IN CONJUNCTION WITH THE ROOF REPLACEMENT, ALL EXISTING CAPPED CURBS TO BE REMOVED DOWN TO THE EXISTING METAL DECK. THE EXISTING METAL DECK Voids TO BE INFILLED SEE DRAWINGS S10 AND S20 FOR DETAILS.



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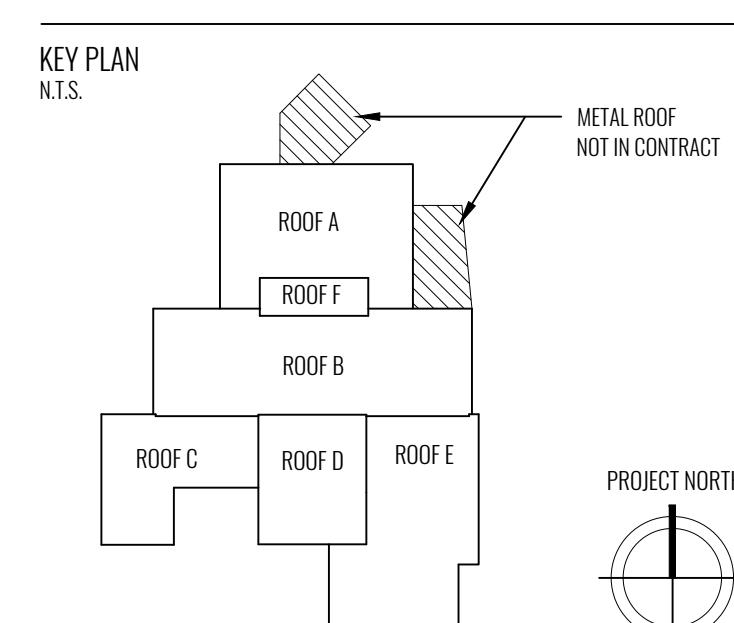


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PROJECT DRAWING LIST	Drawing No.	Drawing Title	Revision No.	Revision Date
C1.0	C1.0	COVER SHEET & GENERAL NOTES	X	XXXXXX
A1.1	A1.1	WIND UPLIFT ROOF PLAN		
A5.0	A5.0	DETAILS		
S1.0	S1.0	PARTIAL STRUCTURAL ROOF PLAN		
S2.0	S2.0	STRUCTURAL DETAILS		

Issue Date: 01 OCTOBER 2025  
Drawing No: 2502006  
Drawn By: BR  
Checked By: LW  
AS NOTED  
Project Information:

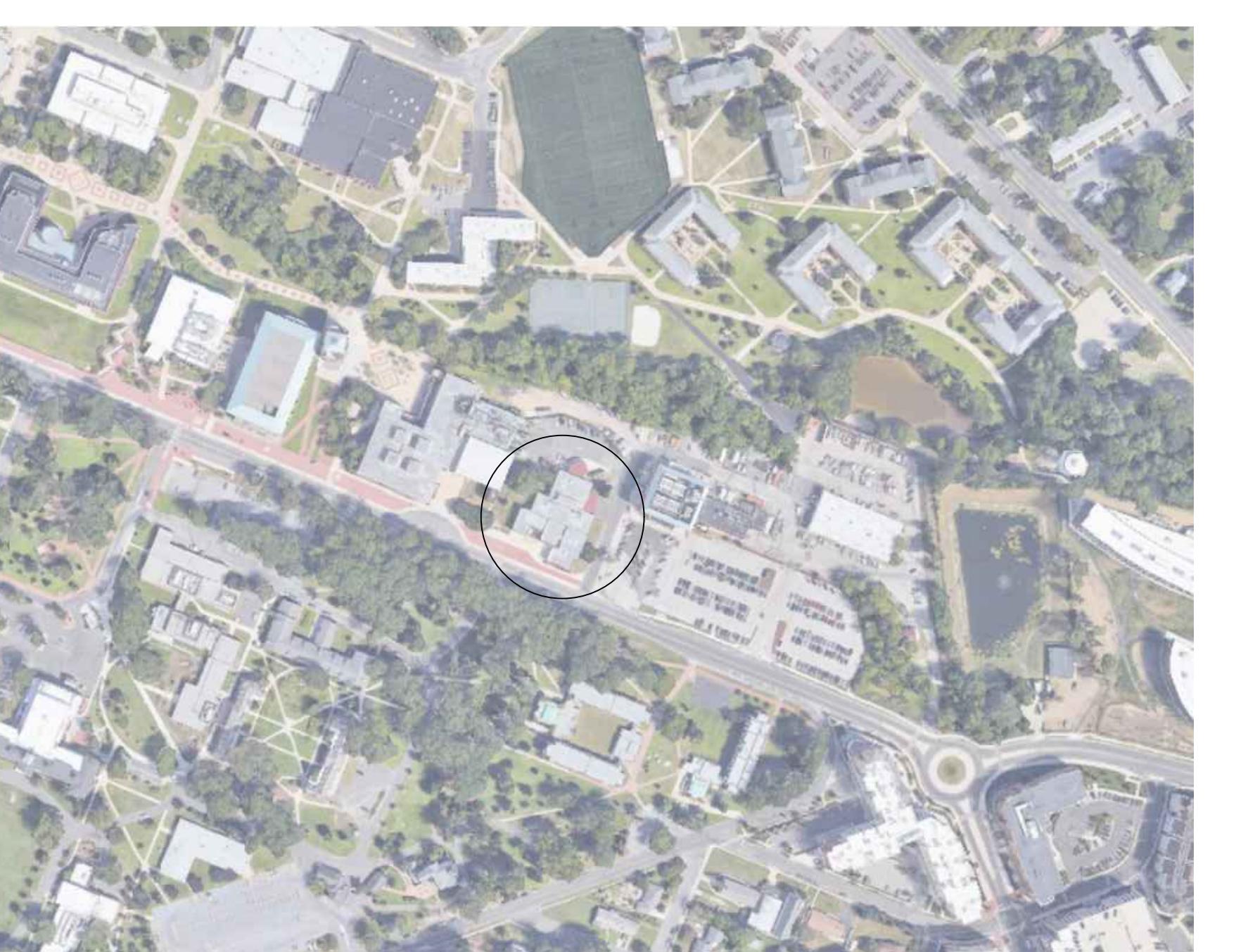


WINANS HALL

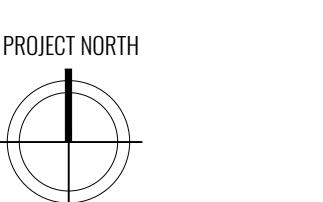
201 MULlica HALL RD.  
GLASSBORO, NJ 08028

ROOF REPLACEMENT

Drawing No.: COVER SHEET  
Drawing No.: CS



LOCATION MAP  
N.T.S.



PROJECT NORTH

N.T.S.

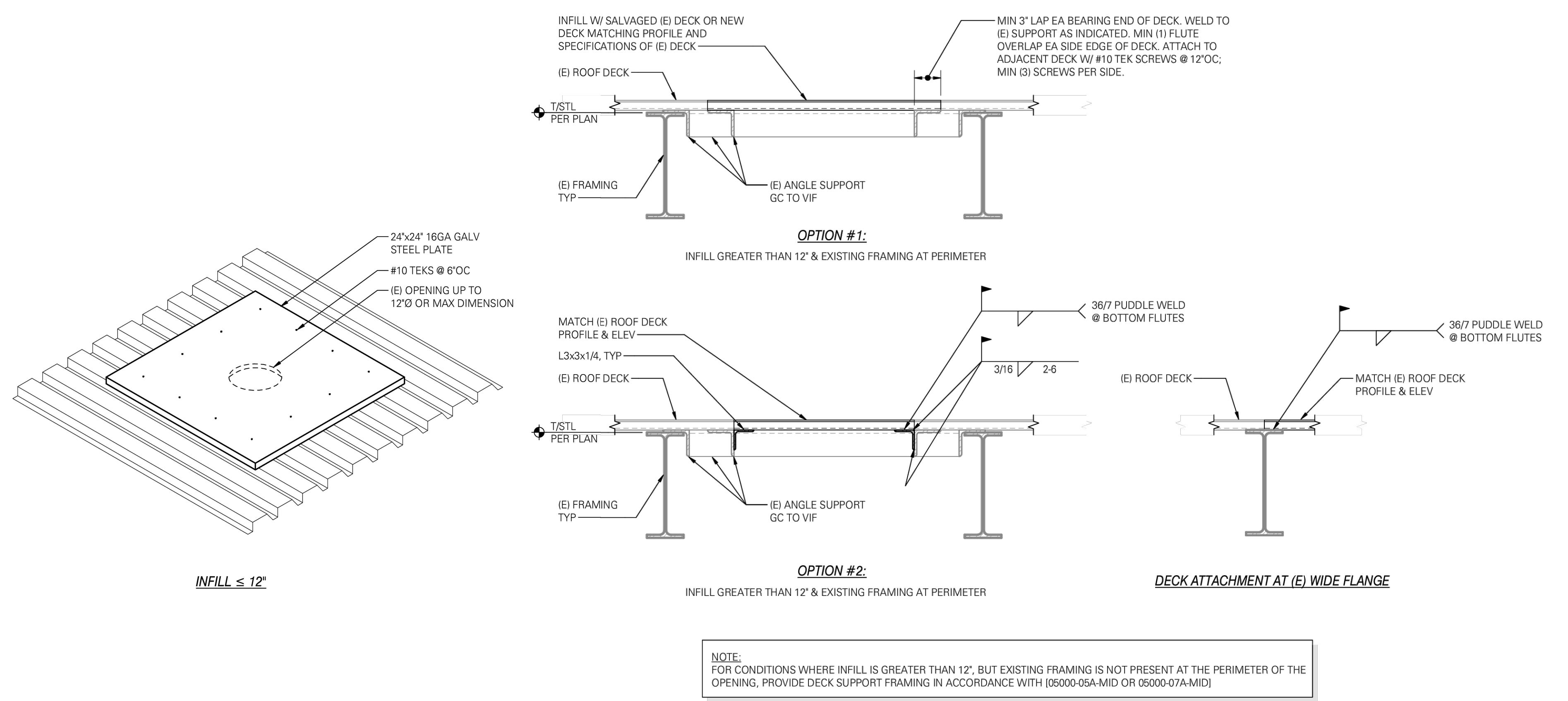








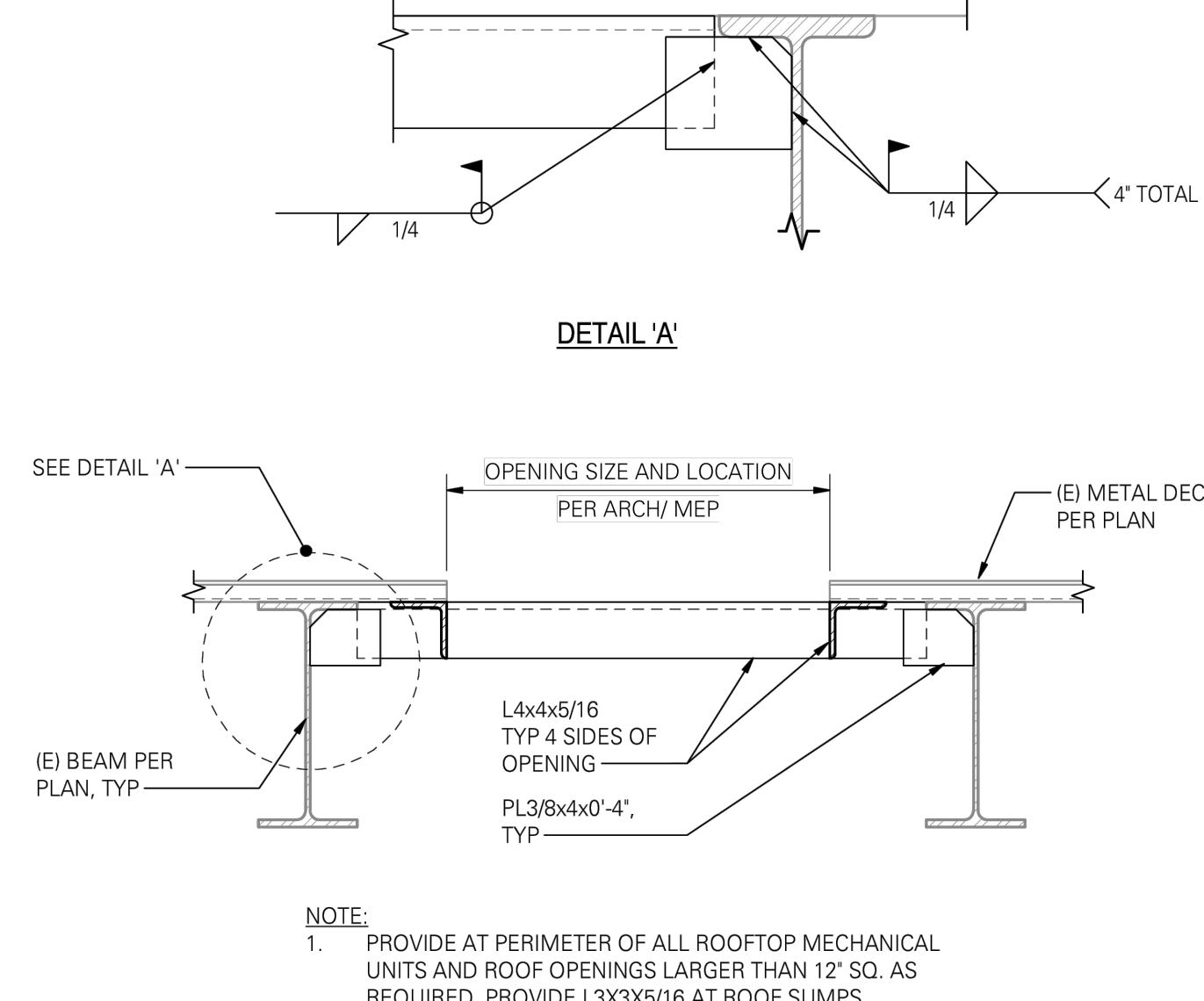




### 1 TYPICAL EXISTING ROOF DECK OPENING INFILL DETAIL

SCALE: 1' = 1'-0" (05000-04-MID)

**(E) = EXISTING STRUCTURAL COMPONENTS**  
NOTE: ALL EXISTING CONDITIONS TO BE  
VERIFIED IN FIELD. MEANS AND METHODS  
BY CONTRACTOR.



### 2 TYPICAL ROOF CURB SUPPORT DETAIL AT EXISTING WIDE FLANGE BEAMS

SCALE: 1' = 1'-0" (05000-05A-MID)

### 3 TYPICAL ROOF CURB SUPPORT DETAIL AT EXISTING JOISTS

SCALE: 1' = 1'-0" (05000-07A-MID)

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1. It is the responsibility of the Construction Manager/General Contractor and all Sub-Contractors to verify all dimensions and accept conditions of prior work by related trades before proceeding with any work.

**KEY PLAN**  
N.T.S.  
METAL ROOF  
NOT IN CONTRACT  
ROOF A  
ROOF B  
ROOF C  
ROOF D  
ROOF E  
PROJECT NORTH

PROJECT DRAWING LIST			
Drawing No.	Drawing Title	Revision No.	Revision Date
CS	COVER SHEET & GENERAL NOTES	X	XXXXXX
A1.0	ROOF PLAN & NOTES		
A1.1	WIND UPLIFT ROOF PLAN		
A5.0	DETAILS		
A5.1	DETAILS		
S1.0	PARTIAL STRUCTURAL ROOF PLAN		
S2.0	STRUCTURAL DETAILS		

Issue Date	Drawing Title	Drawing No.
01 OCTOBER 2025	CONSTRUCTION ISSUE	
TBS Project No.		
2502006		
Drawn By		
BR		
Checked By		
LW		

AS NOTED

Project Information



WINANS HALL

201 MULLICA HALL RD.  
GLASSBORO, NJ 08028

ROOF REPLACEMENT

Drawing Title: **STRUCTURAL DETAILS** Drawing No. **S2.0**